

ADDENDUM #3 TO THE CONTRACT DOCUMENTS



I. GENERAL

- A. This Addendum to the Contract Documents shall be considered a part of the Contract Documents as if originally written and included in same. Where changes in materials or workmanship are indicated herein, these changes shall take precedence over the original Contract Documents. The Contractor is responsible for notifying all subcontractors of the changes in this Addendum which may affect their work.

II. CHANGES TO THE PROJECT MANUAL

- A. Hung windows may be single hung. In Specification Section 08 53 13, 1.2, A, 1, delete “double hung” and insert instead “single hung”. The term “single hung” shall remain in Specification Section 08 53 13. 2.2, A, 1 and in the Exterior Openings Schedule on Sheet A3 of the Revision 01 drawings.
- B. The Sample Form of Bid Bond (Specification Section 00 43 13 issued as a part of Addendum #2 includes an error; it indicates that the work is to be located at three Lots, but it will be located at four lots. Delete Specification Section 00 43 13 in its entirety and insert instead the attached corrected Specification Section 00 43 13.
- C. In the Table of Contents, delete “08 71 01 DOOR HARDWARE”. Door hardware is specified in the Interior Openings Schedules and the Exterior Openings Schedules of the Drawings.

III. CHANGES TO THE DRAWINGS

- A. Insert the attached four (4) Landscape drawing sheets. These drawing sheets bear the dates of 07/23/2025, 08/06/2025 (Revision 01), and 08/26/2025 (Revision 02).
 - 1. Insert the attached Sheet LS1 of the drawing set for 1440 & 1442 Mansfield Avenue immediately after Sheet S1.2 for 1440 & 1442 Mansfield Avenue.

2. Insert the attached Sheet LS1 of the drawing set for 1444 & 1446 Mansfield Avenue immediately after Sheet S1.2 for 1444 & 1446 Mansfield Avenue.
 3. Insert the attached Sheet LS1 of the drawing set for 1234 & 1236 Marshall Drive immediately after Sheet S1.2 for 1234 & 1236 Marshall Drive.
 4. Insert the attached Sheet LS1 of the drawing set for 6100A & 6100B Fifth Avenue immediately after Sheet S1.2 for 6100A & 6100B Fifth Avenue.
- B. In the title block of Sheet A4 for 6100A & 6100B Fifth Avenue, the project name is obscured by overlapping text. Delete the superimposed texts and insert instead “NEW HOUSE AT 6100A & 6100B FIFTH AVENUE”.

IV. MISCELLANEOUS

- A. A mandatory Pre-Bid Conference was held on August 13, 2025, and attendees were instructed to sign in. The sign-in sheets are attached; there are three pages.

V. QUESTION AND ANSWER

- A. Question: With regard to window blinds, may 2-inch slats be used in lieu of the specified 1-inch slats?
1. Answer: It is the intention of the Architect to reject any formal request for prior approval or product submittal for a blind product with 2-inch slats.
- B. Question: With regard to window blinds, may wood or aluminum slats be used in lieu of the specified vinyl slats?
1. Answer: The Architect is willing to consider approving aluminum slats but not wood slats. Specific and comprehensive information about a specific aluminum blind product would be required for Architect review.
- C. Question: Is it the design intent that any roof assembly that is certified as a Fortified™ roof will be acceptable?
1. Answer: No. The roof assemblies must be certified as Fortified™ roofs AND they must meet any additional requirements of the contract documents. For example, the roof sheathing must have a 5/8” nominal thickness as per Specification Section 06 10 00 even though roof sheathing with a nominal thickness of 1/2” may be sufficient to comply with the requirements for Fortified™ roof certification.
- D. Question: A new requirement for Fortified™ roofs is that any self-adhering underlayment must include a bond breaker. Is the bond breaker required for this project?

1. Answer: The specifications require that the underlayment be a self-adhering type, and the specifications also require that the roof assemblies meet all requirements for certification as Fortified™ roofs. Therefore, the answer is “Yes”; if a bond breaker is required for Fortified™ roofs with self-adhering underlayment, then a bond breaker is required for this project.
- E. Question: May the roof sheathing be OSB?
 1. Answer: No. As indicated in Specification Section, 06 10 00, the roof sheathing shall be plywood with a nominal thickness of 5/8”.

END OF ADDENDUM #3 NARRATIVE. The above-referenced attachments are also components of Addendum #3.

All addenda must be acknowledged on the Bid Form.

BID BOND

KNOW ALL MEN BY THESE PRESENTS:

That we, _____ as Principal, hereinafter called the Principal, and _____ a corporation duly organized under the laws of the State of Louisiana, as Surety, are held and firmly bound unto the Jefferson Parish Housing Services Development District (JPHSDD), for the sum of

_____ Dollars (\$ _____), for the payment of which sum well and truly to be made, the said Principal and the said Surety bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly be these presents.

WHEREAS, the Principal has submitted a bid for Jefferson Parish Housing Services Development District (JPHSDD) Invitation to Bid (ITB) #25-002: New Affordable Housing on Vacant Lots, Phase 1.

Located at Four Lots in Marrero, Louisiana as identified in the Bidding Documents. The project consists of new houses and other improvements to the Four Lots.

(Identify project by name and brief description)

NOW THEREFORE, if the JPHSDD shall accept the bid of the Principal and the Principal shall enter into a contract with the JPHSDD in accordance with the terms of such bid, and give such bond or bonds as may be specified in the bidding or Contract Documents with good and sufficient surety for the faithful performance of such contract and for the prompt payment of labor and material furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the Jefferson Parish Housing Services Development District the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Jefferson Parish Housing Services Development District may in good faith contract with another party to perform work covered by said bid or an appropriate required amount as specified in the Invitation for Bids, the foregoing to include any other purposes or items set out in, and to be subject to, provisions of La. R.S. 38:2241; 38:2216, as amended, then this obligation shall be null and void; otherwise to remain in full force and effect.

IN WITNESS WHEREOF, the Principal and Surety have hereto set their hands and seals, this

_____ day of _____, 20_____.

PRINCIPAL

SURETY

(Name and Seal)

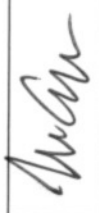










(Attorney-in-Fact)

ATTEST: _____ **ATTEST:** _____

Under penalties of perjury, as prescribed in 18 U.S.C. 1001, the undersigned certifies that the statements set forth in this bid are true and correct.

PRE-BID CONFERENCE
JPHSDD ITB #25-002
New Affordable Housing on Vacant Lots, Phase 1
August 13, 2025

SIGN-IN SHEET

PRINTED NAME	SIGNATURE	ORGANIZATION	PHONE NUMBER(S)	E-MAIL ADDRESS
MICHAEL CAJSKI		Volume Zero LLC	(504) 864-9909	michael@volumezero.com
Victoria Harris		Civica Consulting	(504) 710-4757	
VAN TRAN		VOLUME ZERO LLC	(504) 864-9909	VAN@VOLUMEZERO.COM
Escaluna Rattiff				
Blair Theriot		Dynamic Constructors, LLC	504-305-0385	office@dynamicconstructors.net
Darius Cook		Pivotal Engineering	504-473-0520	dcook@pivotaleng.com
Sopnia Ferrara		GIBBS construction	504-799-9047	bid@gibbsconstruction.com
Andre Menzie		United Infrastructure Services of LA, LLC	504-520-8331	jimmie@uis40.com
Gabriela Cook		Century 21 Century Commercial	504.913.4314	gabriela@cc21c.com
Rianne Monroe		century Commercial	504.669.2600	riannemonroe@cc21c.com
Julien Castillo		Fidelis Builds LLC	985 377 3871 985-237-2180	julien@fidelisbuilds.com james@fidelisbuilds.com







PRE-BID CONFERENCE

JPHSDD ITB #25-002

New Affordable Housing on Vacant Lots, Phase 1

August 13, 2025

SIGN-IN SHEET

PRINTED NAME	SIGNATURE	ORGANIZATION	PHONE NUMBER(S)	E-MAIL ADDRESS
Shelley Moliere-Rainey		Hubb's Properties, LLC	504-813-5852	Hubbsproperties@live.com
Burnell Moliere		Hubb's Properties, LLC	504-450-9999	Bame1@aol.com
Evan Wetekamm	Evan Wetekamm	Batto Construction	504-465-9411	smorvant@battconstruction.com
Charles Stewart		Step Construction LLC	504-957-6392	gsanford@bellsouth.net
Nicole Barnes		Tenick Road	504.897.7357	nicolebarnes@jennibarnes.org
Lance Thomas		LA Construction Co.	504 723 9005	THOMAS5972@gmail.com
Travis Mena		Genesis Const.	504-450-9588	travis@genesisgc.com

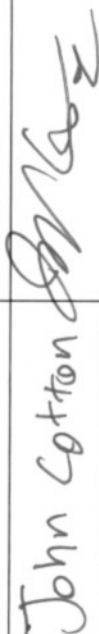
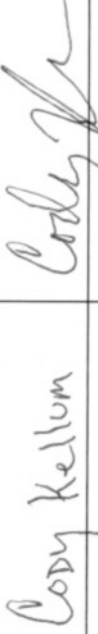



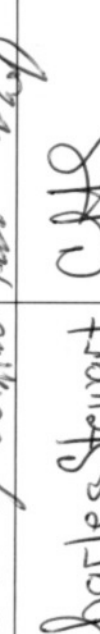

PRE-BID CONFERENCE

JPHSDD ITB #25-002

New Affordable Housing on Vacant Lots, Phase 1

August 13, 2025

SIGN-IN SHEET

PRINTED NAME	SIGNATURE	ORGANIZATION	PHONE NUMBER(S)	E-MAIL ADDRESS
John Cotton		VPB construction	504 919-2608	JohnCotton@VPBenterprise.com
Cody Kellum		Lamar Construction Co. of Louisiana	985-789-7960	e.kellum@lamarcontractors.com
Scott Ward		SWEENEY RESTORATION, LLC	855-239-1084	ScottCS@swenrestoration.com
Charles Stewart		Step Construction LLC	504-957-6392	gstanford@bellsouth.net
Chris Pope		RMP Builders	504-939-7923	cdpope@rmpd.com
Timothy Winfield		Winfield Co	225-454-0572	Winfieldandco@gmail.com jimmylaw@yahoo.com
Charles Stewart		Step Construction	504-957-6392	drjones91906@gmail.com