

# NEW AFFORDABLE HOUSING ON VACANT LOTS, PHASE 1



*Jefferson Parish*  
Housing Services Development District  
Dorian Rawles, Executive Director

PROJECT DIRECTORY

**OWNER:**  
Jefferson Parish Housing Services Development District (JPHSDD)  
121 Paillet Drive, Harvey LA 70053  
office phone: (504) 342-4475

**ARCHITECT:**  
Volume Zero LLC  
Michael Cajski, Project Architect  
1034 Joliet St., New Orleans LA 70118-1164  
office phone: (504) 864-9809  
michael@volumezero.com

**CIVIL/STRUCTURAL ENGINEER:**  
Kyle Associates LLC  
638 Village Lane N, Mandeville LA 70471  
Thomas Dyer, Project Engineer

(text removed)

DRAWINGS

The Drawings consist of this Cover Sheet and seven (7) sets of drawings. Each of these seven (7) drawing sets is for the development of one (1) new house on one (1) Lot. The municipal addresses of these seven (7) new houses are indicated on the Vicinity Map on this Cover Sheet at the locations of the sites/Lots. Those house addresses are also listed below.

1440 & 1442 Mansfield Avenue

1444 & 1446 Mansfield Avenue

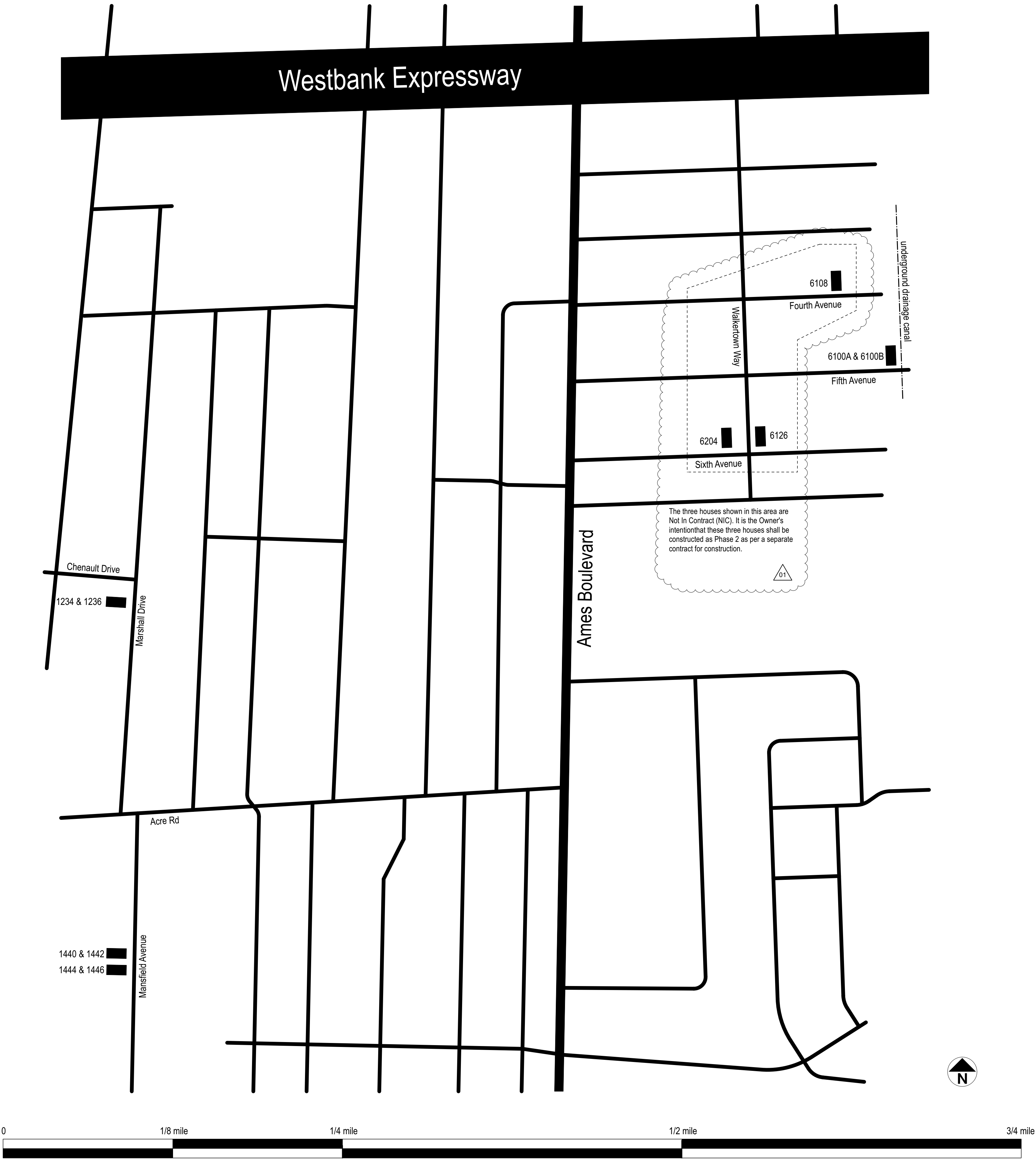
1234 & 1236 Marshall Drive

(text removed)

6100A & 6100B Fifth Ave

(text removed)

Also, see the three Jefferson Parish Department of Engineering drawing sheets that are an appendix to the Contract Documents. All work in the public right-of-way (including sidewalk & driveway work) shall comply with these three drawing sheets.



VICINITY MAP  
SHOWING A PORTION OF MARRERO, LOUISIANA

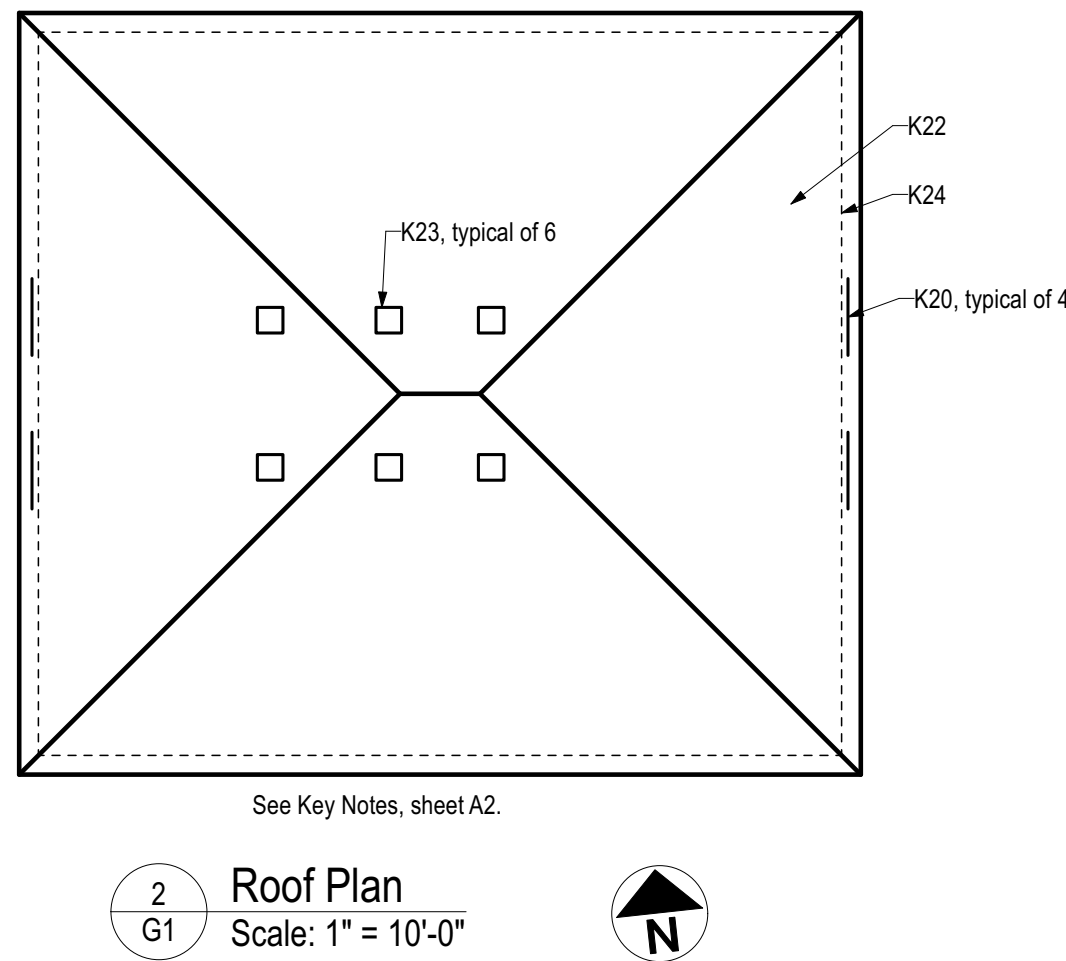
ABBREVIATIONS		
Abv.	ABOVE	J-BOX
A/C	AIR CONDITIONING	KDAT
ADA	AMERICANS WITH DISABILITIES ACT	KDFA
AFF	ABOVE FINISHED FLOOR	Lav.
ASF	ABOVE SUB-FLOOR	Lb.
AHU	AIR HANDLING UNIT	LEED
Alum.	ALUMINUM	M
Approx.	APPROXIMATE(LY)	Max.
Apt.	APARTMENT	MECH
Arch.	ARCHITECT(URAL)	MEP
ARRA	AMERICAN RECOVERY AND REINVESTMENT ACT	MH
ASF	ABOVE SUB-FLOOR	Min.
A.T.	ALUMINUM THRESHOLD	Misc.
Bd.	BOARD	MO
BFE	BASE FLOOD ELEVATION	MPE
Bldg.	BUILDING	MR
Blk.	BLOCK (ING)	M.T.
Bm.	BEAM	Mtl.
Btm.	BOTTOM	NIC
Btwn.	BETWEEN	NFPA
Cab.	CABINET	NTS
Cem.	CEMENT	OC
CJ	CONTROL JOINT	OD
CL	CENTERLINE	P
Cig.	CEILING	Plywd.
CMU	CONCRETE MASONRY UNIT	PSI
Col.	COLUMN	PT
Conc.	CONCRETE	Ptd.
Cont.	CONTINUOUS	PVC
Cu Yds	CUBIC YARDS	Qty.
D	DRYER	R/A
Dbl.	DOUBLE	Ref.
Demo.	DEMOLISH, DEMOLITION	Reqd
Diag.	DIAGONAL	RH
Dim.	DIMENSION	RJ
DN	DOWN	RO
Dr.	DRAIN	Sec
DS	DOWNSPOUT	SEER
Dtl.	DETAIL	Sht.
DW	DISHWASHER	Sim.
DWG	DRAWING	SI
E	ELECTRICAL DRAWINGS AND SPECIFICATIONS	SC
EIFS	EXTERIOR INSULATING FINISH SYSTEM	Spec
EJ	EXPANSION JOINT	Sq.
Elec.	ELECTRIC(AL)	SS
Elev.	ELEVATION	Std.
EQ	EQUAL	Stl.
Exist.	EXISTING	Svc.
Ext.	EXTERIOR	Tel.
FE	FIRE EXTINGUISHER	T&G
FJ	FINGER-JOINED PINE OR FIR	Thk.
Ft.	FOOT (FEET)	TV
Galv.	GALVANIZED	Typ.
GFI	GROUND FAULT CIRCUIT INTERRUPTER	UL
Gyp.	GYPSUM	UNO
HB	HOSE BIB	VCT
HC	HOLLOW CORE	Vert.
HM	HOLLOW METAL	VIF
Ht.	HEIGHT	W
HVAC	HEATING/VENTILATING/AIR CONDITIONING	W/
IBC	INTERNATIONAL BUILDING CODE, 2021 EDITION	Wd.
ID	INNER DIAMETER	Wdw.
In.	INCHES	WH
Insul.	INSULATION, INSULATING	W/O
Int.	INTERIOR	WP
IRC	INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION	Yr.
J-BOX	JUNCTION BOX	
KDAT	KILN DRIED AFTER TREATMENT	
KDFA	KNOCKED DOWN FIELD ASSEMBLY	
Lav.	LAVATORY	
Lb.	POUND (S)	
LEED	LEADERSHIP IN ENERGY & ENVIRONMENTAL DESIGN	
M	MECHANICAL DRAWINGS AND SPECIFICATIONS	
Max.	MAXIMUM	
MECH	MECHANICAL	
MEP	MECHANICAL/ELECTRICAL/PLUMBING	
MH	MOUNTING HEIGHT	
Min.	MINIMUM	
Misc.	MISCELLANEOUS	
MO	MASONRY OPENING	
MPE	MECHANICAL/PLUMBING/ELECTRICAL	
MR	MOISTURE RESISTANT	
M.T.	MARBLE THRESHOLD	
Mtl.	METAL	
NIC	NOT IN CONTRACT	
NFPA	NFPA CODES	
NTS	NOT TO SCALE	
OC	ON CENTER (S)	
OD	OUTER DIAMETER	
P	PLUMBING DRAWINGS AND SPECIFICATIONS	
Plywd.	PLYWOOD	
PSI	POUNDS PER SQUARE INCH	
PT	PRESERVATIVE TREATED	
Ptd.	PAINTED	
PVC	POLYVINYL CHLORIDE	
Qty.	QUANTITY	
R/A	RETURN AIR	
Ref.	REFRIGERATOR	
Reqd	REQUIRED	
RH	ROUGH HEAD (ROUGH HEADER)	
RJ	ROUGH JAMB	
RO	ROUGH OPENING	
Sec	SECTION	
SEER	SEASONAL ENERGY EFFICIENCY RATIO	
Sht.	SHEET	
Sim.	SIMILAR	
SI	SLOPE	
SC	SOLID CORE	
Spec	SPECIFICATION, SPECIFIED	
Sq.	SQUARE	
SS	STAINLESS STEEL	
Std.	STANDARD	
Stl.	STEEL	
Svc.	SERVICE	
Tel.	TELEPHONE	
T&G	TONGUE AND GROOVE	
Thk.	THICK (NESS)	
TV	TELEVISION	
Typ.	TYPICAL	
UL	UNDERWRITERS LABORATORIES (UL, LLC)	
UNO	UNLESS NOTED OTHERWISE	
VCT	VINYL COMPOSITION TILE	
Vert.	VERTICAL	
VIF	VERIFY IN FIELD	
W	WASHING MACHINE	
W/	WITH	
Wd.	WOOD	
Wdw.	WINDOW	
WH	WATER HEATER	
W/O	WITHOUT	
WP	WATERPROOF	
Yr.	YEAR(S)	

Notes on Abbreviations:

1. The use of punctuation and capitalization may vary in the Drawings and Specifications; meanings shall nonetheless be as indicated above.

2. Industry standard abbreviations may be used in the Contract Documents in addition to the abbreviations listed above.

PROJECT GENERAL NOTES	
1.	The Contractor shall verify all relevant dimensions and field conditions before proceeding and shall notify the Architect of any discrepancies between existing field conditions and how they are portrayed in these drawings. Contractor shall verify the fit of all proposed construction.
2.	Provide final cleaning of the project area as per Specification Section 01 77 00.
3.	The Contractor shall make a reasonable effort to prevent hazards & inconveniences to neighbors and the general public. The Contractor shall make a reasonable effort to provide for the safety of persons on the public right of way(s) adjacent to the site and shall secure any necessary permits for barricades, signs, covered walks or other safety features. Such safety features, as deemed to be reasonable, shall be within the Contractor's scope of work.
4.	Construction means and methods shall be the responsibility of the Contractor.
5.	All materials, fixtures, etc. shall be new unless otherwise specified and shall be handled & installed according to all of the manufacturers' instructions & recommendations. Should the Contractor discover an apparent discrepancy between the manufacturer's instructions & recommendations and the Project Drawings and/or Project Specifications, the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
6.	The Contractor shall acquire all the required permits to perform the work, and the work shall comply with all applicable codes & laws. Should the Contractor discover an apparent discrepancy between applicable codes & laws and the Project Drawings and/or Project Specifications the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
7.	The Contractor shall promptly notify the Architect if any discrepancies within the Contract Documents are discovered. In the absence of prompt feedback from the Architect, the Specifications documents shall take precedence over the Drawings. If there are apparent discrepancies within the Drawings and/or Specifications that are not clarified by the Architect prior to the submission of bids for construction, the construction bid amount shall be for the most costly of the apparently conflicting work items.
8.	For all houses with two living units that are mirror images of each other, all items shown and noted for one of the living units shall also apply to the other living unit.



BUILDING INFORMATION	
CONSTRUCTION TYPE:	Light wood frame with no fire suppression system. IBC Type Vb.
OCCUPANCY TYPE:	Residential, one- or two- family dwelling.
BUILDING GROSS INTERIOR FLOOR AREA:	as indicated on Site Plan.

APPLICABLE BUILDING CODE	
BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE (IRC), 2021 Edition, as modified by any Jefferson Parish amendments and as modified by any State of Louisiana amendments.

SITE PLAN GENERAL NOTES:	
1.	For work in the public right-of-way, comply with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
2.	Paving within the Lot boundaries shall be 5" thick and reinforced with 6"x12" (wire spacing) highway mesh, 0/1 gauge. Mesh shall be at mid-height of concrete thickness.
3.	Concrete formulation and performance shall match that required by Jefferson Parish for driveway aprons; see the three (3) Appendix drawing sheets.
4.	Minimum side yard setback requirement is five feet, and minimum distance of new combustible construction to any property line is five feet. Non-combustible, un-roofed construction (e.g.: a concrete stair with metal handrails) is allowable within required yard spaces.
5.	The finish surface of paving within the Lot shall match the finish surface of the new paving in the public right-of-way, which shall be in compliance with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
6.	All areas on the Lot that are not covered with paving, planting beds, or the new house shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
7.	All unpaved areas between the Lot and the paved vehicular street shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
8.	Provide river sand fill under paving as required to achieve the specified elevations.
9.	Provide fill as required to fill any low spots on the site.
10.	The Contractor shall maintain the site (including the entire Lot and all portions of the adjacent public right-of-way between the Lot and the paved vehicular street paving) for the duration of the Contract Period. This maintenance shall include grass cutting.
11.	Plant grass sod wherever existing grass is damaged by Contractor's activities, including traffic (foot traffic and vehicular traffic), temporary facilities, excavation, and storage. As preparation, loosen soil where compacted and add backfill as required to eliminate low spots.
12.	Plant grass sod wherever new backfill is provided without a cover of new paving or new ornamental planting.

SITE PLAN KEYNOTES:	
EP:	Edge of new paving. Provide trowelled radius edge.
AL:	Align paving edge with other construction as shown.
CJ:	Control joint, typical (shown as dotted line). Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CJP:	Control joint along property line. Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CLF:	New chain link fence assembly.
L:	New concrete landing at bottom of stair. New concrete paving abutting lowest stair riser shall be at elevation such that the vertical dimension of lowest riser shall be equal to the vertical dimension of upper stair risers. Provide expansion joint with fiber joint filler strip between paving and stair. Slope paving surface 3/16" per foot away from house.
P@stair:	New paving abutting lowest stair riser shall be at elevation such that the vertical dimension of lowest stair riser shall be equal to the vertical dimension of upper stair risers. Provide expansion joint with fiber joint filler strip between paving and stair.
S316:	Slope 3/16" per foot.
SR:	Slope as required. In the public right-of-way, comply with Jefferson Parish slope requirements; see the three (3) Appendix drawing sheets.
FL:	Surface of new driveway apron flush with surface of existing street paving.

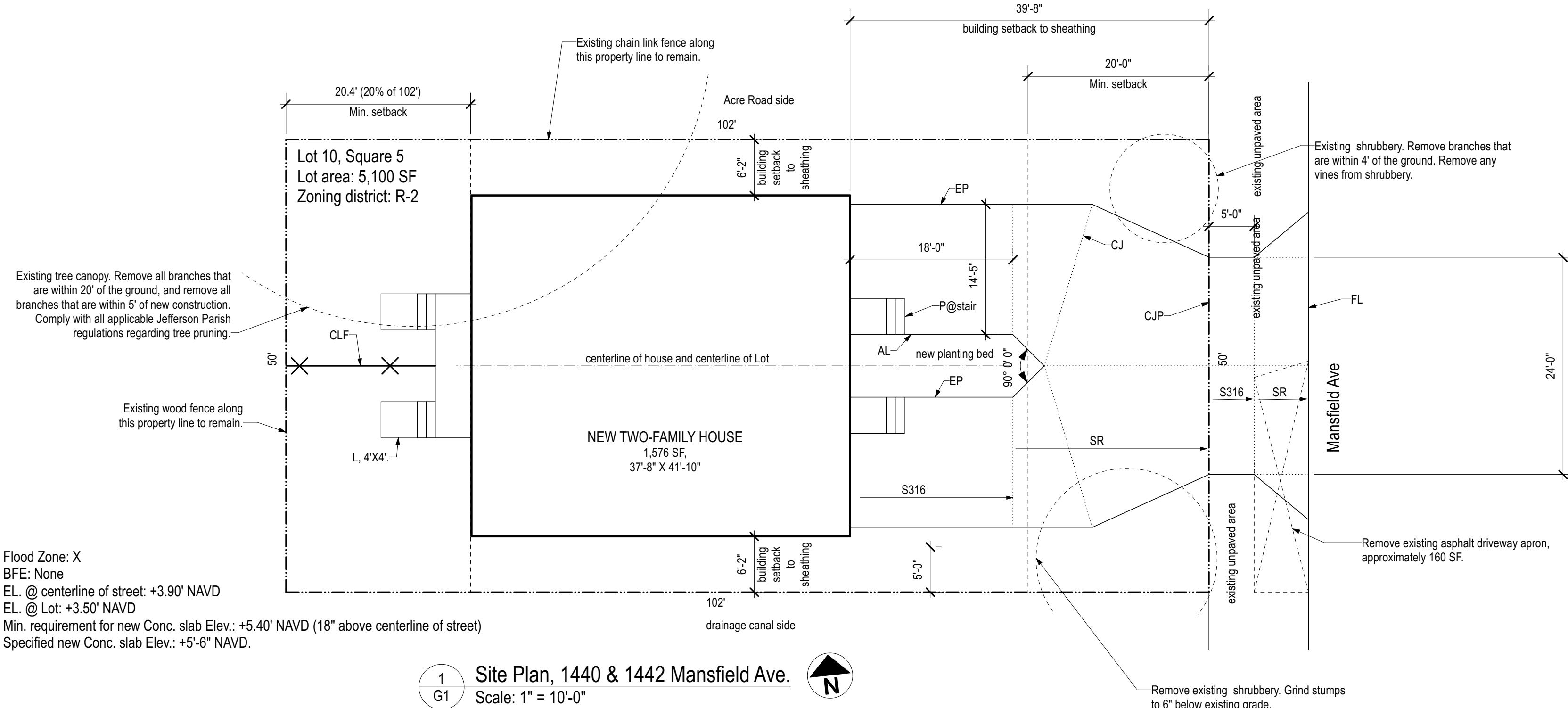
Jefferson Parish

Housing Services Development District

Dorian Rawles, Executive Director

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<b>OWNER:</b> Jefferson Parish Housing Services Development District (JPHSDD) 121 Pallet Drive, Harvey LA 70053 office phone: (504) 342-4475	
<b>ARCHITECT:</b> Volume Zero LLC Michael Cajski, Project Architect 1034 Joliet St., New Orleans LA 70118-1164 office phone: (504) 864-9909 michael@volumezero.com	
<b>CIVIL/STRUCTURAL ENGINEER:</b> Kyle Associates LLC 638 Village Lane N, Mandeville LA 70471 Thomas Dyer, Project Engineer	

INDEX OF DRAWINGS	
G1	GENERAL (G) Index of Drawings, Site Plan, Roof Plan, Miscellaneous Notes
A1	ARCHITECTURAL (A) Floor Plan, MEP Plan
A2	Finish Schedule, Symbol Legends, Key Notes
A3	Miscellaneous Schedules
A4	Building Section, Exterior Elevations
A5	Details, including building envelope details
A6	Details, including stair and railing details
A7	Interior Elevations
S1.1	STRUCTURAL (S) Foundation Plan
S1.2	Foundation Notes & Details
LS1	LANDSCAPE (LS) Landscape Plan & Planting Schedule



Volume Zero

architectural design studio

1034 Joliet Street  
New Orleans, La 70118  
504-864-9909 phone  
504-864-9983 fax  
a limited liability company

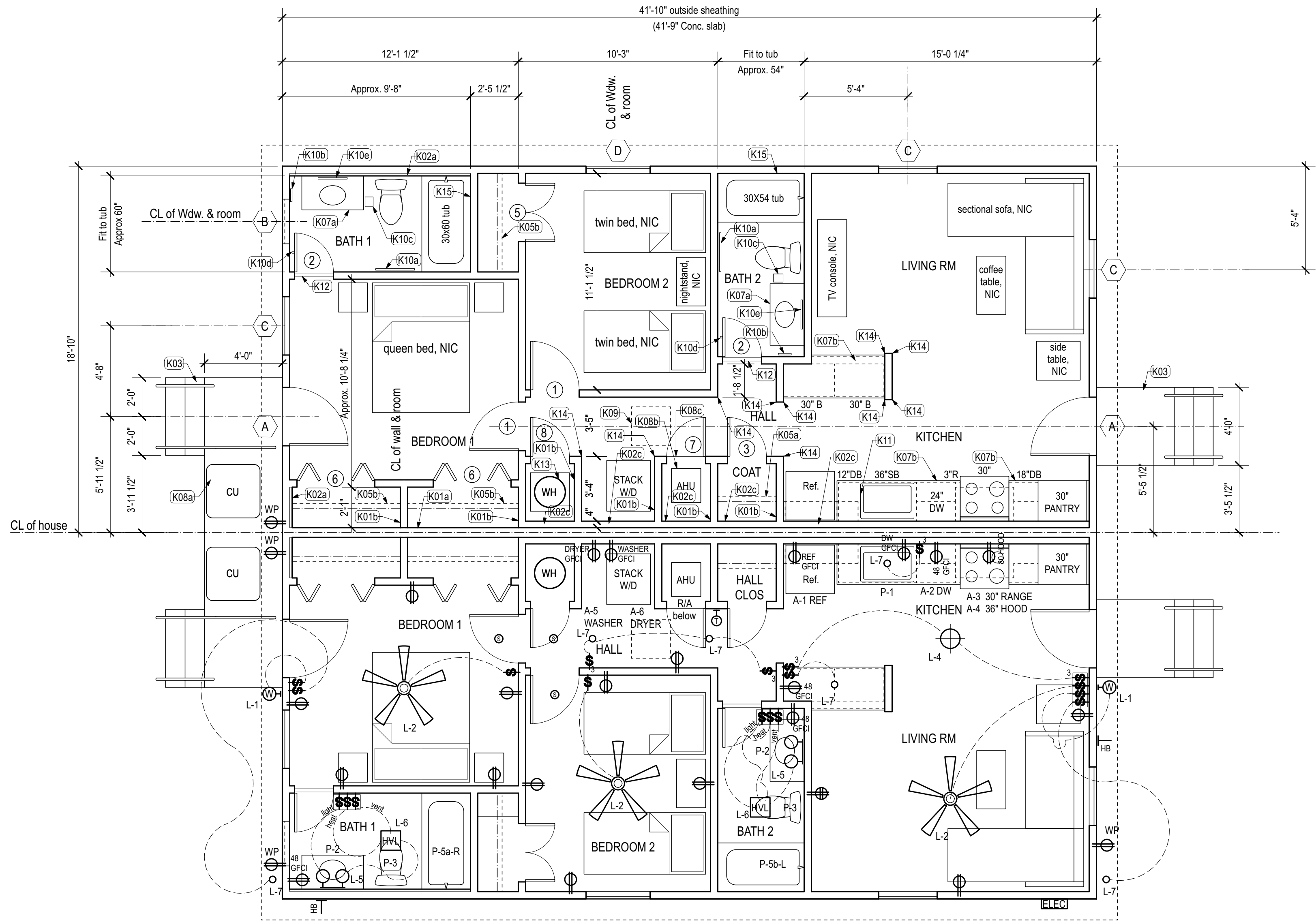
Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002

NEW HOUSE AT 1440 & 1442 MANSFIELD AVE  
MARRERO, LOUISIANA

Issue and print dates:  
07/23/2025 - Bidding Documents  
08/06/2025 - Revision 01

Vol. 0 Project No. 25-006  
drawn by MC  
sheet no.

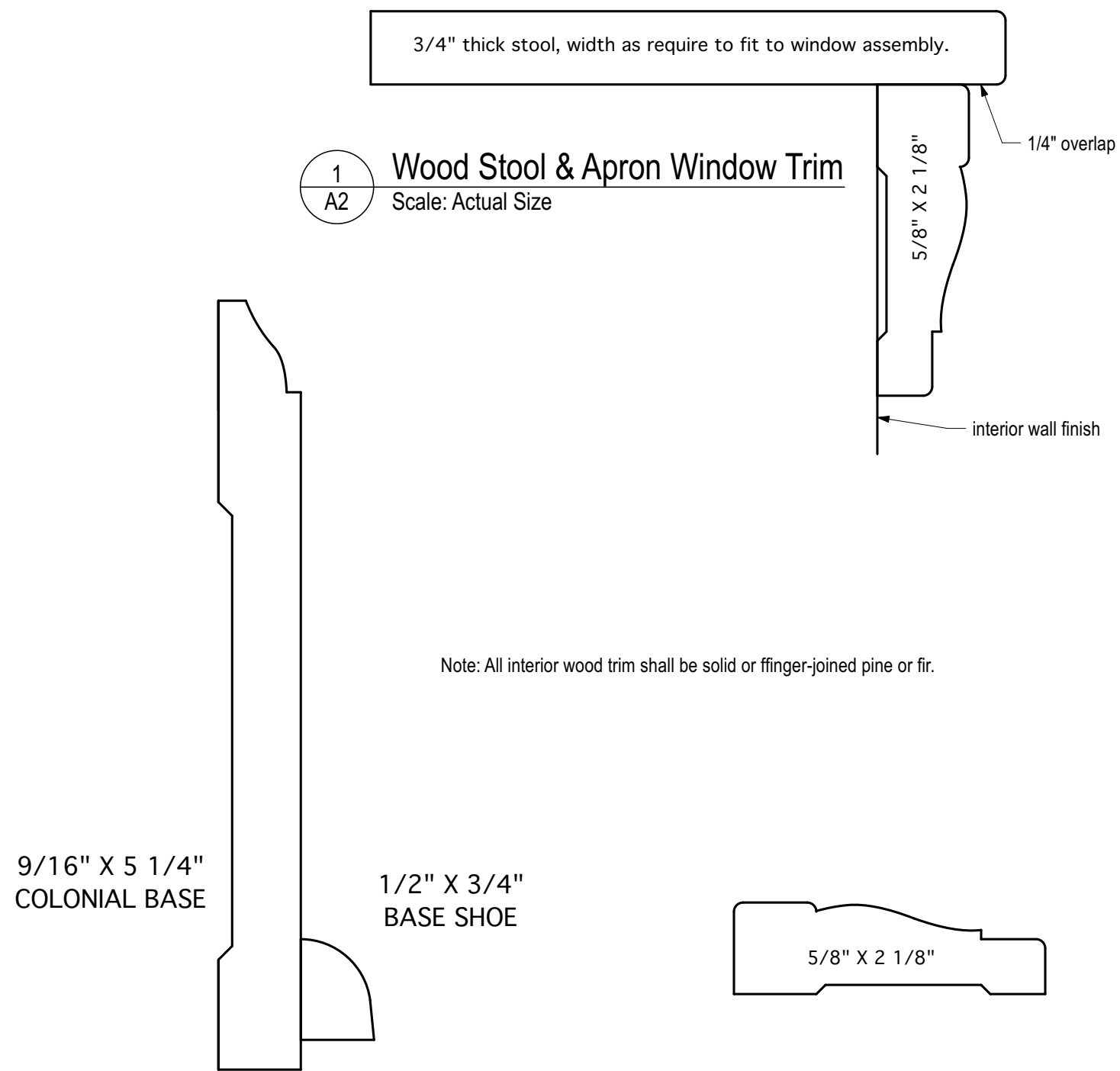
G1



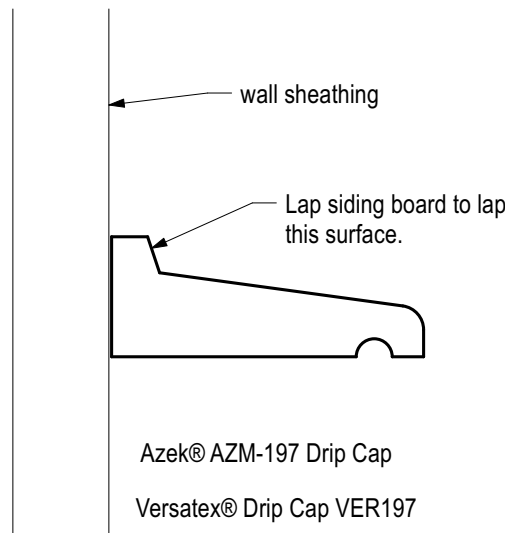
1 Floor Plan & MEP Plan  
A1 Scale: 1/4" = 1'-0"







2 Wood Wall Base Trim, Type B1  
Scale: Actual Size

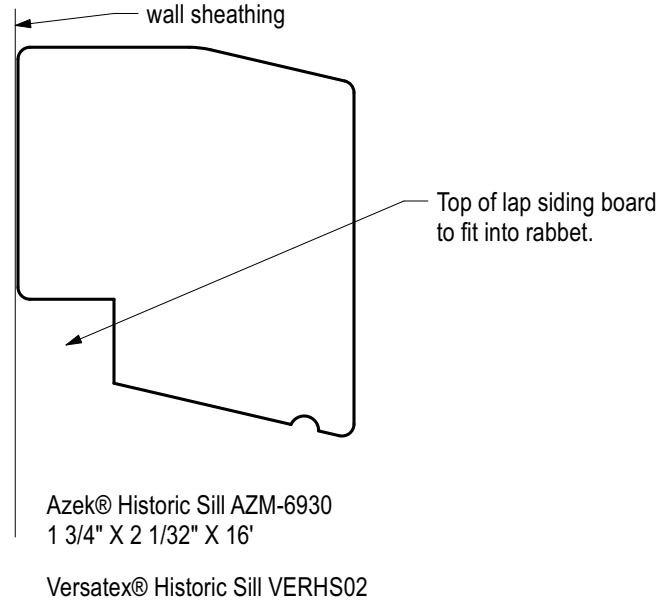


4 PVC Exterior Drip Cap  
Scale: Actual Size



6 Door Type A Elevation  
Scale: not to scale

3 Wood Case Trim, Type C1  
Scale: Actual Size



5 PVC Exterior Window Sill  
Scale: Actual Size

## LIGHTING FIXTURE SYMBOL LEGEND

	wall sconce, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	surface-mounted ceiling light fixture, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	recessed ceiling light fixture w/o housing, UL-rated for wet locations, integral LED, selectable CCT
	surface-mounted ceiling light fixture
	ceiling fan with light kit
	vanity wall sconce, UL-rated for damp locations
	heater-vent-light, UL-rated for wet locations, vent wired to a timer dial switch. Light switched with vanity light fixture. Duct bath fan to exterior.

## MECHANICAL SYMBOLS LEGEND

	HVAC return air grille, 24" X 24" unless noted otherwise – white factory finish on aluminum.
	ceiling-mounted HVAC air supply diffuser with adjustable louvers – white factory finish on aluminum, sized as required.
	vertical air handling unit w/ electric resistance heater, The central HVAC system shall have 14 SEER minimum efficiency. Provide overflow drain pan and drain pipe to exterior.
	HVAC outdoor unit. The central HVAC system shall have 14 SEER minimum efficiency.
	digital programmable thermostat

## DOORBELL BUTTON AND CHIME

At each living unit, provide one hardwired doorbell & chime assembly. The doorbell shall be located at the front door jamb trim. The chime shall be located in the hallway. Confirm exact installation locations with Architect. Doorbell button product: Utilitech model UT-729-00. Chime with transformer product: Utilitech model UT-2796-02.

## ELECTRICAL SYMBOLS LEGEND

	switch
	3-way switch
	ganged switches and wall plate
	duplex outlet receptacle
	quadplex outlet receptacle
	UL-rated waterproof duplex outlet receptacle, recessed in wall
	duplex outlet receptacle with ground fault circuit interrupter
	duplex outlet receptacle with ground fault circuit interrupter located at xx height in inches AFF
	duplex outlet receptacle for a named appliance with ground fault circuit interrupter located at xx height in inches AFF
	new ceiling mounted smoke detector and carbon monoxide detector, hard-wired with battery back-up
	electrical main service panel and electrical meter. Proposed location is shown. Notify Archtitect if other location is deemed by the Electrical contractor or the Electrical utility company to be more advantageous.

## PLUMBING SYMBOLS LEGEND

	drop-in stainless steel single-compartment kitchen sink with single-hole kitchen faucet and drain
	drop-in lavatory sink with single-hole lavatory faucet and push drain
	2-piece elongated toilet with toilet seat, 12" rough-in
	alcove tub w/ tub/shower controls and drain
	alcove shower pan w/ shower controls and drain
	hose bibb with backflow preventer, brass construction
	new electric water heater on drain pan. Water heater: AO Smith 100 series with 6-year warranty. At 2-bedroom units, provide 80 gallon size. At 3-bedroom units, provide 55-gallon size. Drain pan: American Built Pro® WHP22GS-1D. Provide emergency overflow drain pipe to exterior. Verify fit of water heater and drain pan.

## NOTES ON CERAMIC TILE

Basis-of-design product: Manufacturer/Brand: Style Selections (available through Lowe's home improvement stores) collection: Futuro White slip-resistant porcelain tile sizes / formats: 12" X 24" floor tile and 3" X 12" bullnose wall base tile. finish / color: matte / white

Provide submittal documents and samples as per Specification Section 01 33 00.

Provide manufacturer's standard warranty.

Provide thinset mortar/adhesive and grout as per manufacturer's instructions and recommendations.

## NOTES ON SHOWER SURROUNDS

- Shower surrounds shall extend vertically from the top of the tub or shower floor to an elevation 84" minimum above the bathroom finished floor.
- Shower surrounds shall be an alcove configuration. Surround lengths shall correspond to tub or shower pan lengths. Shower surround depths shall exceed tub or shower pan depths by 2" as shown in the Interior Elevations
- Each shower surround shall include at least one soap dish/shelf at a location approved by the Architect.
- Provide silicone sealant all around surround and between surround panels if applicable. Sealant color shall be as approved by Architect.
- Shower surrounds shall be one of two types as indicated below. Color/pattern shall be as approved by Architect.
  - Seamless acrylic: Pemafit™ as manufactured by Bath Fitter®, www.experiencebathfitter.com.
  - Cultured marble panels with subway tile pattern as manufactured by Plantation Marble, 5791 River Road, New Orleans LA 70123, www.plantationmarblenola.com.
- Fit shower surround assembly to other new construction, including plumbing items and walls.
- The terms "shower surround", "tub surround", and "bathtub surround" are interchangeable in the Contract Documents.
- At each shower surround, provide one commercial-grade stainless steel shower curtain bar: Moen Donner Commercial Collection model CS136-S-SS.

## KEY NOTES

(especially keynotes relevant to Floor Plan)

K01a: Fire-rated demising wall with acoustic insulation: UL Design U340, Gypsum Association File No. WP 3371. See Details. Provide firestopping as required for 1-hour fire separation at all penetrations; all such firestopping shall be certified for use in a 1-hour rated partition by the Contractor's firestopping materials/assemblies manufacturer; Hilti or equal. Acoustic insulation shall be sound attenuation fire blanket as per Spec Sec 07 21 16. See Drawing 2/A5.

K01b: Intersection of typical interior wall with fire-rated demising wall. Gypsum board shall be continuous at demising wall. Install framing of typical interior wall over gypsum board of demising wall.

K02a: Provide 2X2 furring on wall studs; total thickness of wall framing shall be 6". If furring is at demising wall, install furring members over gypsum board of demising wall.

K02b: Furr out wall as required for construction materials/assemblies to fit as shown. If furring is at demising wall, install furring members over gypsum board of demising wall.

K02c: Provide 2X4 furring on wall studs. If furring is at demising wall, install furring members over gypsum board of demising wall.

K03: Concrete landing and stair and handrails. See other drawings, including Structural.

K04: Sound blocking wall assembly: 2X6 plates, 2X4 staggered studs @ 12" OC (at 24" OC on each side of wall). Provide acoustic insulation; acoustic insulatin shall be sound attenuation fire blanket as per Spec Sec 07 21 16.

K05a: Vinyl-coated wire shelving in bedroom closet or coat closet. Rubbermaid® Expandable Closet Kit, 2-4-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05b: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 3-6-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05c: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 4-8-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05d: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 6-10-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06a: Vinyl-coated wire shelving in pantry, closet, or storage room. 4 shelves, 12" deep. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06b: Vinyl-coated wire shelving above washer and dryer. 1 shelf, 12" deep. Length to fit space as shown.

K07a: Countertop at vanity. Provide cut-out(s) as required for plumbing item(s).

K07b: Kitchen countertop. Provide cut-out(s) as required for plumbing item(s).

K07c: not used.

K08a: HVAC exterior equipment on concrete platform. Provide feet or pad as required to comply with Jefferson Parish flood elevation requirements.

K08b: HVAC interior equipment on plywood platform. Top of platform shall be 36" above concrete slab. Platform floor assembly shall be 4" t hick, 1/2" plywood on 2X4 framing.

K08c: Return air grille, located above wall base trim and below HVAC equipment platform assembly.

K09: Attic access hatch, insulated and lockable. Provide framed opening as per manufacturer's instructions and recommendations. Provide keys to Owner. The Williams Brothers Corporation of America model WTB AL 1500 20X20.

K10a: Towel bar assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall. Bar length as indicated on drawings.

K10b: Towel ring assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10c: Toilet paper holder assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10d: Robe hook assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10e: Mirror: Bobrick B-165 1830 with polished stainless steel frame. Center over lavatory and faucet.

K11: Fire extinguisher in under-sink cabinet. First Alert Home1-A-10-B-C rechargeable fire extinguisher.

K12: Marble threshold.

K13: Electric water heater on drain pan. See Specification Section 11 30 13 – Residential Appliances.

K14: Wall corner guard, 16 gauge Type 304 stainless steel with brushed finish, 48" high x 1 1/2" x 1 1/2". Bottom of guard shall be 8" above the finished floor.

K15: Shower surround assembly at 3 sides of bathtub. See NOTES ON SHOWER SURROUNDS, this sheet. See Interior Elevations, Sheet A7.

K16-K19: not used

## KEY NOTES

(especially keynotes relevant to Roof Plan)

K20: Roof diverter, 4' long, centered over door, galvanized steel or aluminum with dark bronze factory finish. Install in compliance with Fortified™ roof requirements.

K21: Drip edge flashing all around roof perimeter, aluminum with white factory finish.

K22: Asphalt shingle roofing as part of a Fortified™ roof assembly.

K23: Louver vent at roof. 60 square inches of net free vent area each. GAF Master Flow Roof Louver SSB960AWF Metal Super Slant Back. Space louver vents at 8'-0" OC. Locate all louver vents 36" clear of ridge/line, measured horizontally (40 1/4" clear of ridge/line, measured along roof slope). Louver vent shall be compliant with Fortified™ roof requirements and shall be certified by the manufacturer to have passed the TAS 100 Standard Test for Wind and Wind Driven Rain Resistance of Discontinuous Roof Systems. Provide documentation of certification.

K24: Exterior face of house perimeter walls below.

K25-K29: not used

## KEY NOTES

(especially keynotes relevant to Exterior Elevations)

K30a: PVC drip cap. See full-scale detail drawings. Note that all drip caps are at the same elevation; install window heads at the correct elevation relative to exterior door heads in order to accomplish this alignment.

K30b: PVC sill. See full-scale detail drawings.

K31a: 5/4 X 4 HardiTrim fiber cement corner board, 3 1/2" face.

K31b: 5/4 X 4 HardiTrim fiber cement corner board, 1" edge.

K31c: 5/4X4 HardiTrim fiber cement case trim. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing.

K31d: 5/4X10 HardiTrim fiber cement case trim at door head. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing. Note that top of 5/4 X 10 door case head trim aligns with top of 5/4 X 4 head case trims of windows. See Key note 30a regarding window unit head heights relative to exterior door head heights.

K31e: 1X HardiTrim fascia at roof eave.

K32: Mailbox: Reliablitt metal standard mailbox, black, wall mounted, model #07-3068.

K33: Address numerals. Product option 1: Taymor Industries, Inc. 25-ANB6 Classic Aluminum House Numbers, 6 inches high, matte black. Product option 2: Reliablitt 6-in Black Numbers, model 33620PKBLG. Center numerals group on vertical centerline of door. Center numerals on horizontal centerline of door head trim board. Numerals shall correctly identify the municipal address of each living unit.

END OF "K" SERIES KEY NOTES

## SCHEDULE OF INTERIOR FINISHES

Room/Space Type	Typical Floor Finish	Typical Wall and Ceiling Finish	Typical Wall Base Trim	Typical Door Case Trim	Typical Window Trim
Living Room	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Kitchen	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bedroom	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Laundry*/Equipment/Utility	Vinyl Plank Flooring	Gypsum Board, moisture-resistant	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bathroom / Powder Room	Ceramic Tile	Gypsum Board, moisture-resistant	Ceramic Tile	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Miscellaneous closets	Match finishes of the room from which the closet is accessible.				

\*including Laundry closets and alcoves in addition to Laundry rooms  
Note: Provide fire-rated gypsum board and other non-typical finishes wherever indicated in the drawings. Gypsum board shall be the moisture-resistant type at all wet walls, including Laundry and Kitchen wet walls.

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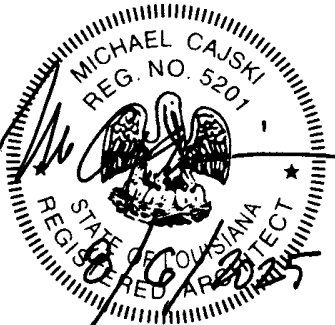
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drawn by MC

sheet no.

A2



LIGHT FIXTURE SCHEDULE					
MARK	FIXTURE DESCRIPTION	FIXTURE MODEL NO.	LAMP DESCRIPTION	LAMP MODEL NO.	REMARKS
L-1	exterior wall/pendant surface-mounted LED fixture, dusk-to-dawn photocell, 3 CCT selectable, die-cast aluminum body and cage, frosted glare-free polycarbonate lens, powder-coated BRONZE finish, UL-listed wet locations, Energy Star rated, non-dimming, 120V	PROBRITE® AXIS: AXS12-3CCT-PC-BZ	12W LED (75W equiv), 1000 lumens, >80CRI, 50K hours	integrated LED, lamp included	Set CCT to WARM (3000K), install using dusk-to-dawn setting
L-2	42" flush-mount ceiling fan with light kit, reversible 3-speed motor, reversible airflow, 3-arm light w/ dimmable LED lamps included, pull-chain control, matte black housing, 5 matteblack/dark chocolate reversible easy-to-attach blades, 2857 CFM airflow, 15.22" h	Harbor Breeze® Coachman 42": 43305	(Qty of 3 lamps) Each lamp 5.5W LED A15, E26 base, 550 lumens, dimmable, included	replaceable LED, lamps included	install blades with dark chocolate side visible
L-3	exterior surface-mounted ceiling light 4.25" w X 8" h, E26 medium base lamp, incandescent 60W, aluminum body w/ black finish, opal glass shade, UL-rated wet locations	SATCO®   NUVO® : SF77-154	E26 base, 9W A19 LED (60W equiv replacement), 120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-4	exterior surface-mounted ceiling light 13" dia X 5" h, integral 23W LED, 3000K, aluminum body w/ black finish, frosted glass shade	Globe Electric® Mark®: 44658	23W integrated LED, 120V, 3000K, 2000 lumens, 80CRI, 30K hours, dimmable	integrated LED, lamp included	
L-5	wall-mounted vanity light, 2-lamp, matte black finish, UL-listed for damp location + glass shades (2 1/4" fitter) + (2) 60W A19 E26 lamps	Style Selections Mix and Match: VBK120-2CH + N284M (shades, 2 needed)	E26 base, 9W A19 LED (60W equiv replacement), 120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-6	heater-vent-light, white, 80 CFM, 1.2 sones, 1300W heating element, LED light, 4" duct	Utilitech®: 7123-02-L	LED included		
L-7	4" Dia. exterior recessed light fixture w/ direct mount LED module w/ remote driver, IC and non-IC suitable, integral LED light, selectable CCT: 2700K, 90 CRI, UL-listed for wet locations, white baffle, 1200 lumens, 90 CRI, dimmable	HALO®: LCR4129FSED010MW	14.3W integral LED		

APPLIANCE SCHEDULE			
MARK	DESCRIPTION	MODEL NO.	REMARKS
A-1	Top freezer refrigerator 18.3 cu ft, nominal 28" w X 30.8" d, white, ADA-compliant, wire shelves, LED light	Frigidaire® FFTR1814WW	ALTERNATE: Frigidaire® FFHT1822, 17.6 cu ft, stainless steel, Energy star
A-2	24" dishwasher, front control, stainless steel w/ black, Energy Star rated, 59 DB, 3 cycles, 4 wash levels	Amana® ADFS2524RZ	install with braided stainless steel hose (not included)
A-3	30" freestanding electric range, glass top, stainless steel w/ black, Energy Star rated,	Whirlpool® WFES3030RS	
A-4	36" vent hood, ducted, stainless steel w/ black, ADA-compliant, 160-190 CFM, 6.5 sones, E26 base incandescent light	Broan® F403604	duct ports fit 3 1/4" X 10" or 7" round, Contractor shall provide all required accessories for proper function, including but not limited to duct, duct vent outlet cover, and light bulb.
A-5	stackable washer, Energy Star rated, ADA-compliant, white	Samsung® WF45T6000AW	
A-6	stackable electric dryer, Energy Star rated, ADA-compliant, white	Samsung® DVE45T6000W	Contractor shall provide all required accessories for proper function, including but not limited to duct and duct vent outlet cover

PLUMBING FIXTURE SCHEDULE				
MARK	DESCRIPTION	MODEL NO.	COLOR/FINISH	REMARKS
P-1	Kitchen sink: drop-in 33X22, single compartment, 16 ga. stainless steel, pre-drilled for single-hole, satin finish, drain located @ center rear, drain/strainer basket included	Miseno® MNO3322SRTM	stainless steel satin finish	--
	Kitchen faucet: high arc, single hole, single handle, do NOT install side sprayer, ADA-compliant	Delta® Precept® P199152LF	polished chrome	01 Side sprayer may be included in kit, BUT do NOT install sprayer. Transmit side sprayer to Owner.
P-2	Lavatory sink: drop-in vitreous china sink w/ overflow drain, oval shape, pre-drilled for one hole, 20.25" X 17.5" w X 8.5" d	Kohler® Pennington® K-2196-1-0	white	
	Lavatory faucet: single-hole, single handle faucet w/ pop-up drain, ADA-compliant	Delta® Modern Project Pack® 534LF-PP	polished chrome	
P-3	Toilet with toilet seat: 2-piece, elongated bowl, 1.28 gpf, 12" rough-in	Project Source® ProFlush® MT-802PRO	white	
P-4	Shower assembly (with shower base size variation):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, no stops	Delta® Universal Mixing Rough-in® R10000-UNBX	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	shower drain: 2" compression fit drain, brass body	WESTBRASS® D206B-26	polished chrome	
	P-4a alcove shower base 32" X 48" X 2.75" with center drain, single threshold	DreamLine® SlimLine® DLT1132480	white	01 Select from these two shower pan options to fit as shown in Floor Plan.
	P-4b alcove shower base 36" X 48" X 2.5" with center drain, single threshold			
P-5	Tub/Shower assembly (with tub size and drain location variations):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, with stops	Delta® MultiChoice Universal Mixing Rough-in® R10000-UNWS	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	tub spout with integral diverter, wall-mounted	Delta® RP19895	polished chrome	
	tub drain, brass pipe	Keeney® 595R8	polished chrome	
	P-5a-R 30x60 alcove tub, right-hand drain, porcelain enameled steel	American Standard® Princeton® 1391202.020, right hand drain	white	
	P-5a-L 30X60 alcove tub left-hand drain, porcelain enameled steel	American Standard® Princeton® 1390202.020, left hand drain	white	01 Select from these four bath tub options to fit as shown in Floor Plan.
	P-5b-R 30x54 alcove tub, right-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3302-00, right hand drain	white	
	P-5b-L 30X54 alcove tub left-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3303-00, left hand drain	white	

EXTERIOR OPENINGS SCHEDULE						
MARK	UNIT SIZE	DESCRIPTION	MANUFACTURER AND SERIES	MODEL NO.	HARDWARE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	4-paneled steel entry door with glass top panel: impact-resistant, insulated, Energy Star compliant, paintable factory finish, w/ 20-year standard manufacturer's warranty.	Masonite®, (See Sheet A2 for Elevation)	--	entry hardware set, Grade 1: Schlage® Century® Single Cylinder Door Handleset with Latitude® Handle F60 G CEN 622 LAT, matte black	Provide peep hole @ 60" AFF, centered on door width. See Ext. Elevations re: alignment of window and door head trims.
B	2'-4" X 1'-6"	Vinyl, fixed, impact-resistant, transom window, insulated glass, single-lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVTSM2818	NA	See Ext. Elevations re: alignment of window and door head trim.
C	3'-0" X 5'-0"	Vinyl, single-hung, impact-resistant window, insulated glass, 1 over 1 lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVSH3660	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.
D	3'-4" X 5'-0"	Vinyl, single-hung, impact-resistant window with emergency escape and rescue opening, insulated glass, 1 over 1 lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVSH4060	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.

INTERIOR OPENINGS SCHEUDLE			
MARK	UNIT SIZE	DESCRIPTION	REMARKS
1	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
1a	same as Mark 1	Same as Mark 1	
2	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
3	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
4	1'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
5	2(1'-6" X 6'-8" X 1 3/8")	Pair of solid core flush birch veneer doors, swinging. Total width of two door panels: 36".	
6	4(1'-0" X 6'-8" X 1 3/8")	Pair of flush birch veneer bi-fold doors. Total width of four door panels: 48".	
7	2'-0" X 3'-8" X 1 3/8"	Solid core, birch veneer door, cut door height to fit above AHU platform, door head at 6'-8" AFF, keyed hardware	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors. Match head height to other interior doors.
8	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
9	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
10	2'-8" X 6'-8"	cased opening	

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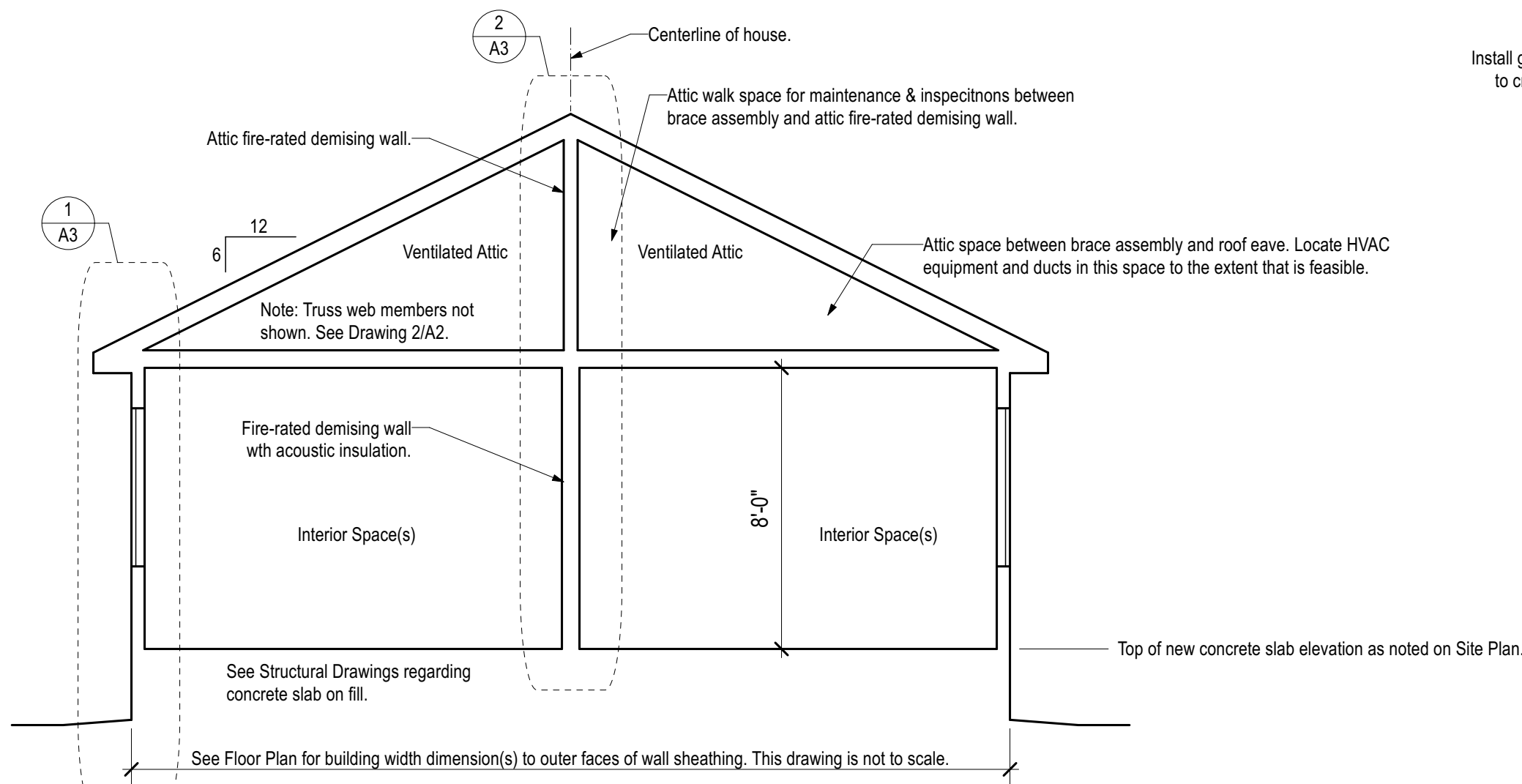
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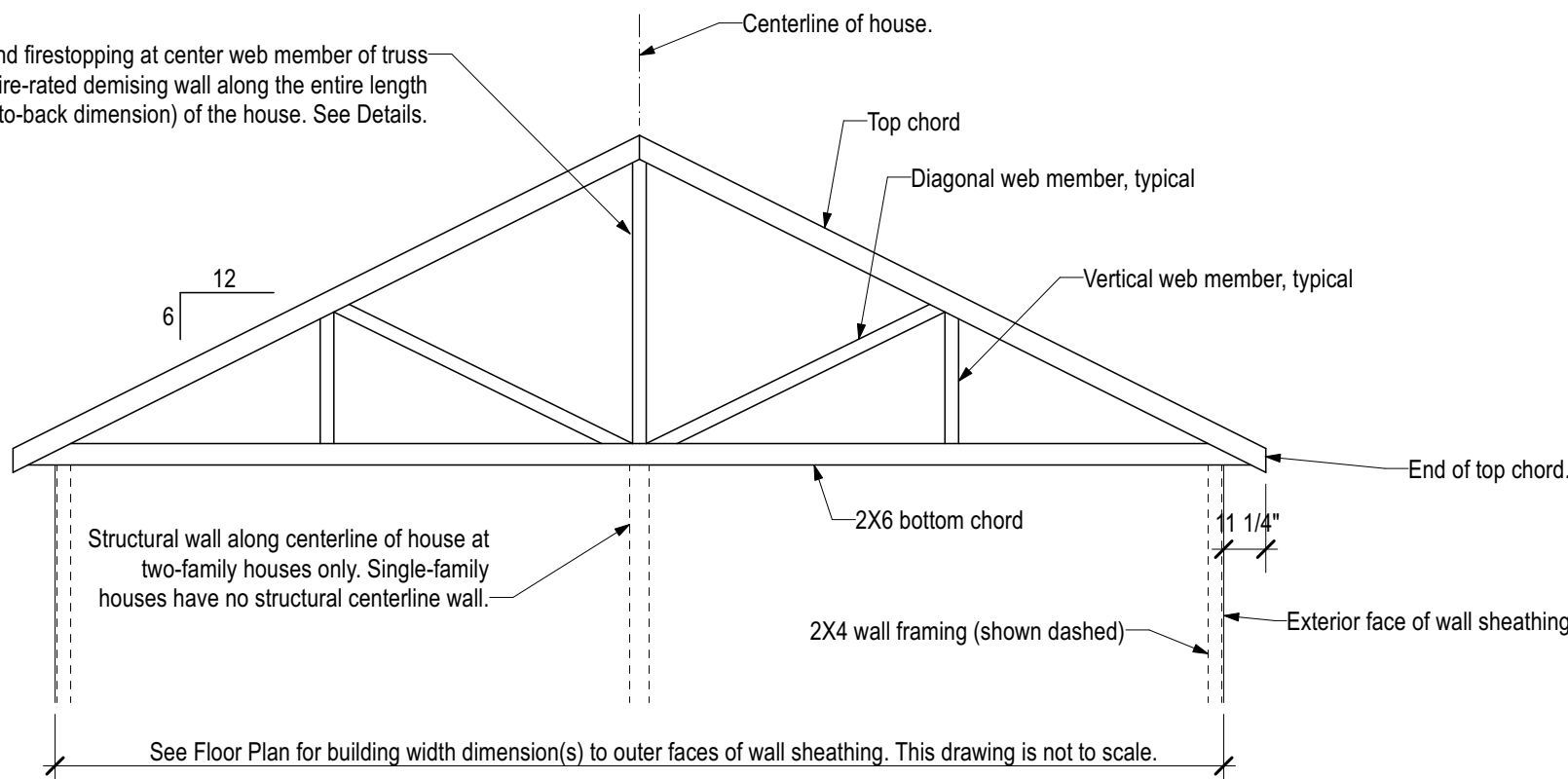
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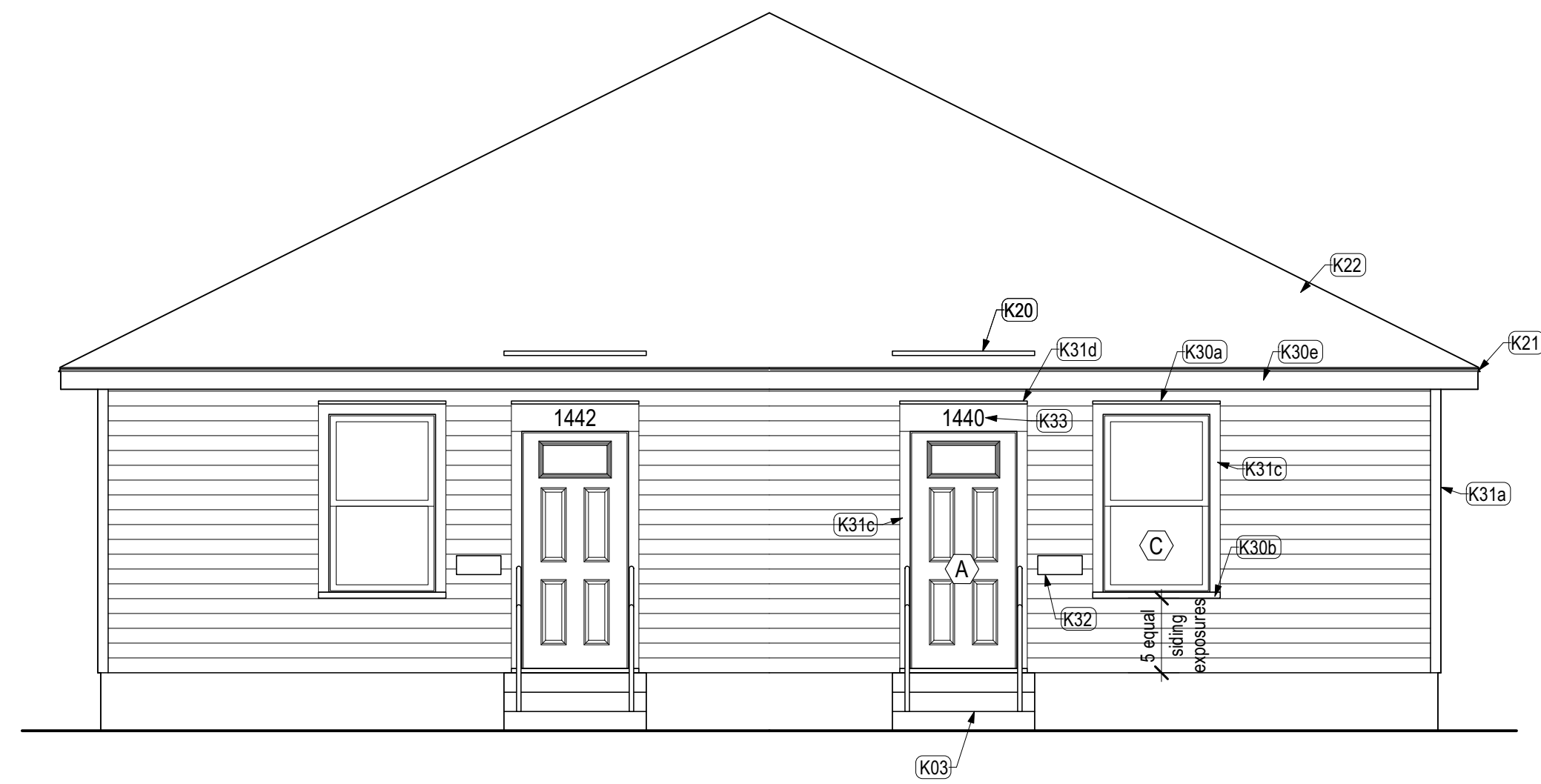


1 Building Section  
Scale: 1/4" = 1'-0"

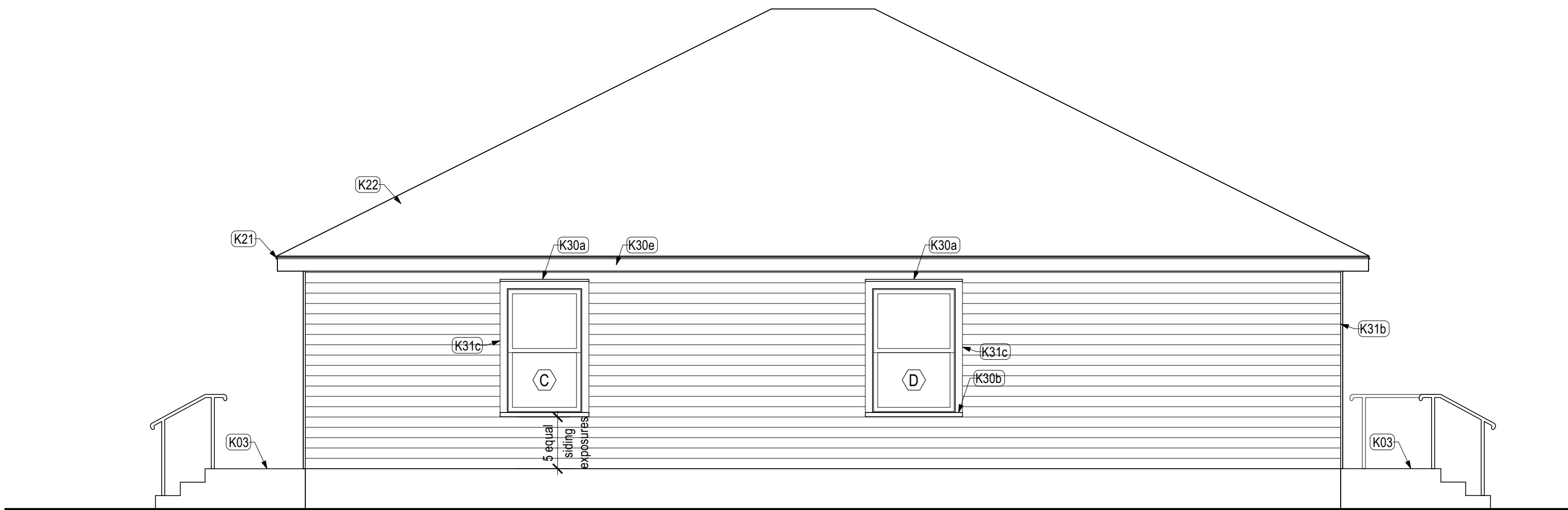


- Notes:
1. Typical truss configuration shall be Howe (shown) or Double Howe (not shown) unless otherwise approved by Architect.
  2. Provide shop drawings stamped by a Louisiana-licensed structural or civil engineer. These drawings shall include design of bracing and truss-to-wall connections.
  3. The roof structure shall comply with Fortified™ roof requirements.
  4. Provide all required truss bracing and connections as per the truss shop drawings.
  5. Top chord and bottom chord members shall be 2X6.
  6. Web members shall be 2X4 minimum.
  7. Truss spacing shall be 24" on-center.
  8. See Roof Plan. Trusses shall conform to roof designs including hips and valleys, if applicable.

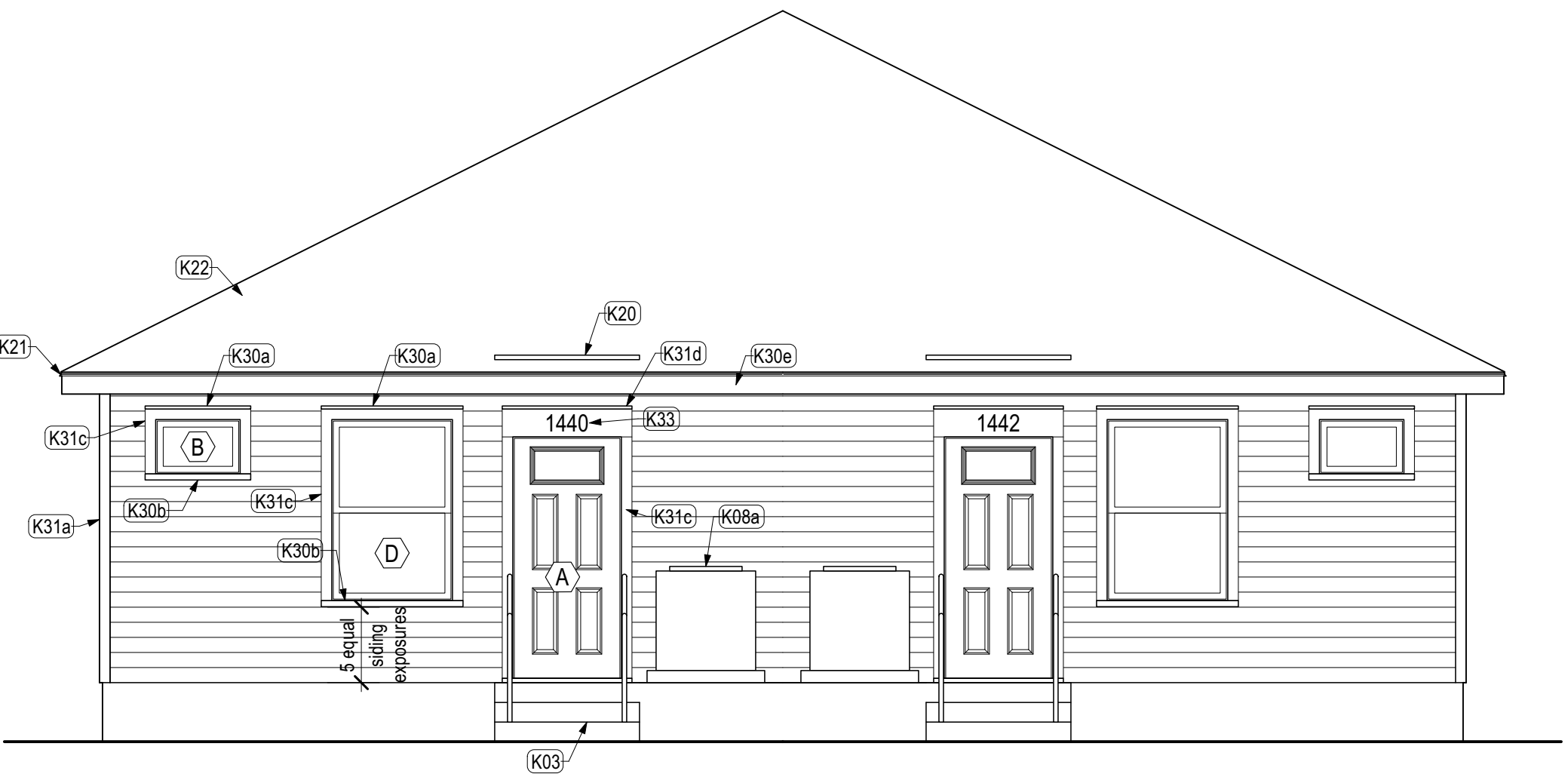
2 Typical Pre-Engineered Roof Truss  
Scale: 1/4" = 1'-0"



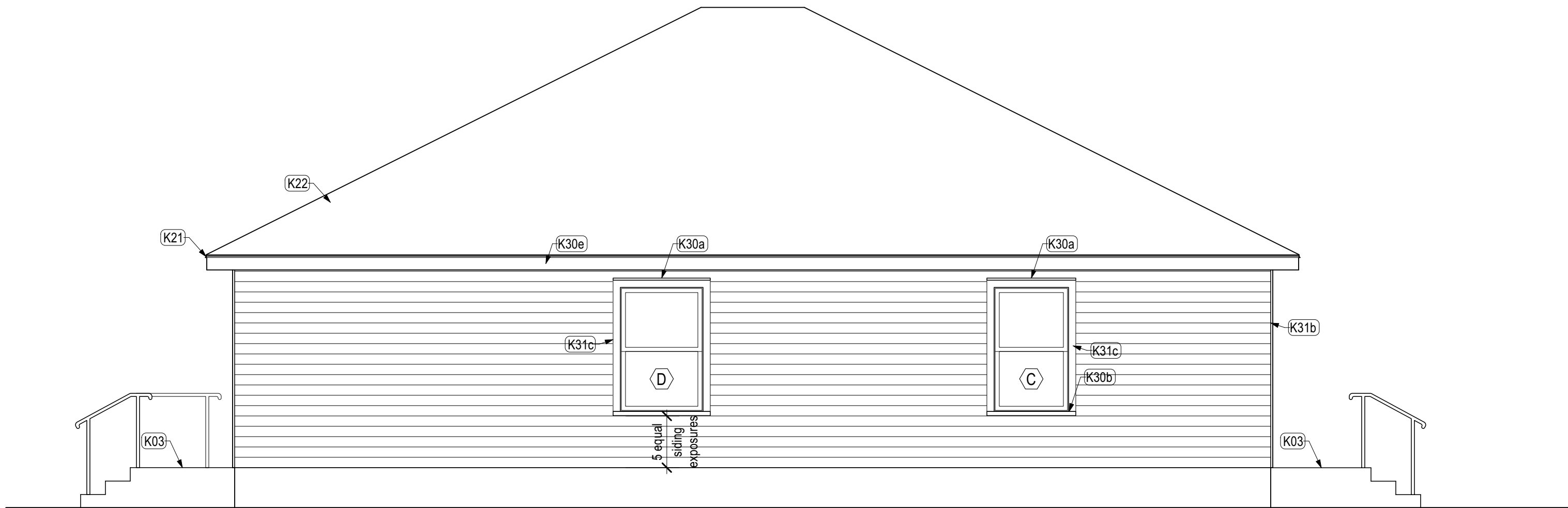
3 Front Elevation  
Scale: 1/4" = 1'-0"



4 Right Side Elevation  
Scale: 1/4" = 1'-0"

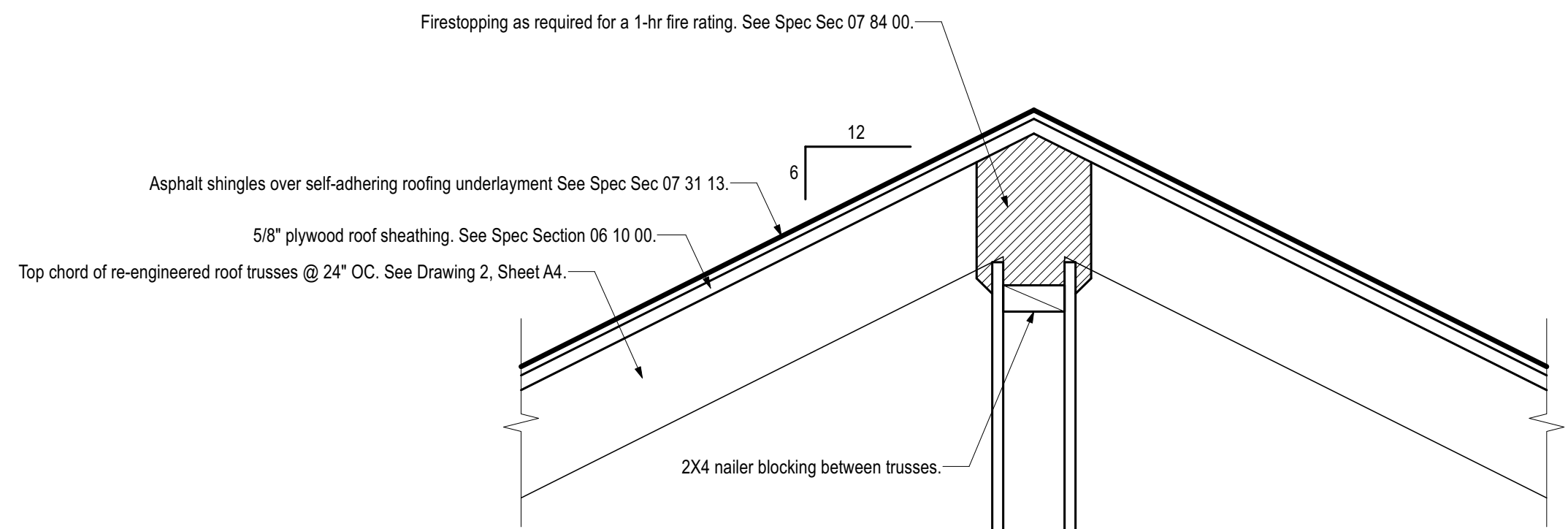


5 Rear Elevation  
Scale: 1/4" = 1'-0"



6 Left Side Elevation  
Scale: 1/4" = 1'-0"

01



Centerline of building and centerline of 1-hour rated attic partition wall.

Attic partition wall with 1-hour fire rating: 5/8" Fire-rated gypsum board at both sides of truss web member. Provide nailer blocking as required for attachment of gypsum board. Partition wall shall extend the full length of the building.

2X4 nailer blocking between trusses.

Firestopping at both sides of 2X6 blocking as required for a 1-hour fire rating. See Spec Sec 07 84 00.

See 1/A5.

See 1/A5.

Hurricane ties (not shown) as per pre-engineered roof truss engineer-stamped shop drawings.

2X6 double top plate

Centerline of building and centerline of 1-hour rated demising wall.

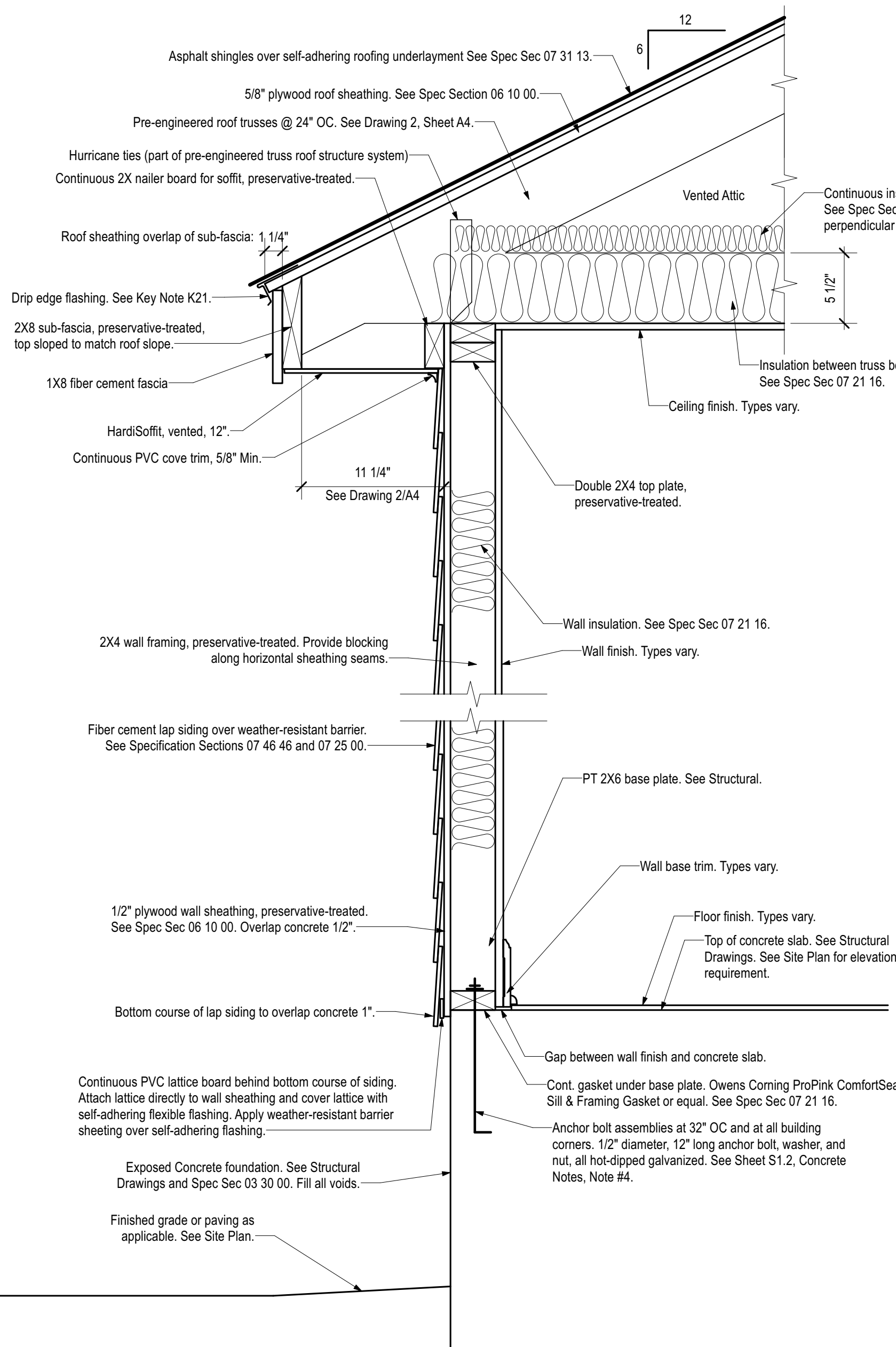
Demising wall with 1-Hr fire rating: UL Design U340, Gypsum Association File No. WP 3371. 5/8" Type X gypsum board on each side of staggered 2X4 studs. Provide acoustic insulation as per Spec Sec 07 21 16. Demising wall shall extend the full length of the building. Firestop any penetrations, see Spec Sec 07 84 00. See Keynote K01a, Sheet A2.

Concrete foundation. See Structural Drawings and Spec Sec 03 30 00.

Wall base trim. Types vary.

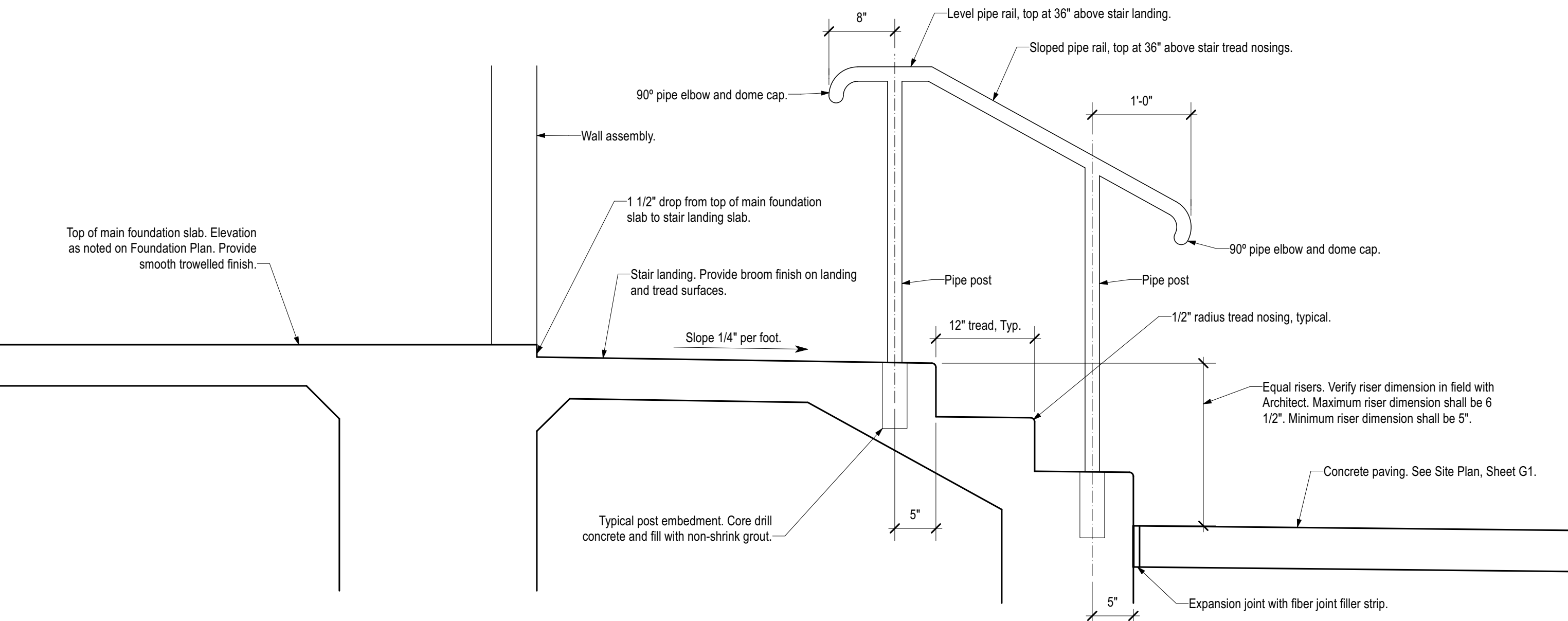
Floor finish. Types vary.  
Top of concrete slab. See Structural Drawings. See Site Plan for elevation requirement.

Gap between wall finish and concrete slab.  
Cont. gasket under base plate. Owens Corning ProPink ComfortSeal Sill & Framing Gasket or equal. See Spec Sec 07 21 16.  
Anchor bolt assemblies at 32" OC and at all building corners. 1/2" diameter, 12" long anchor bolt, washer, and nut, all hot-dipped galvanized. See Sheet S1.2, Concrete Notes, Note #4.



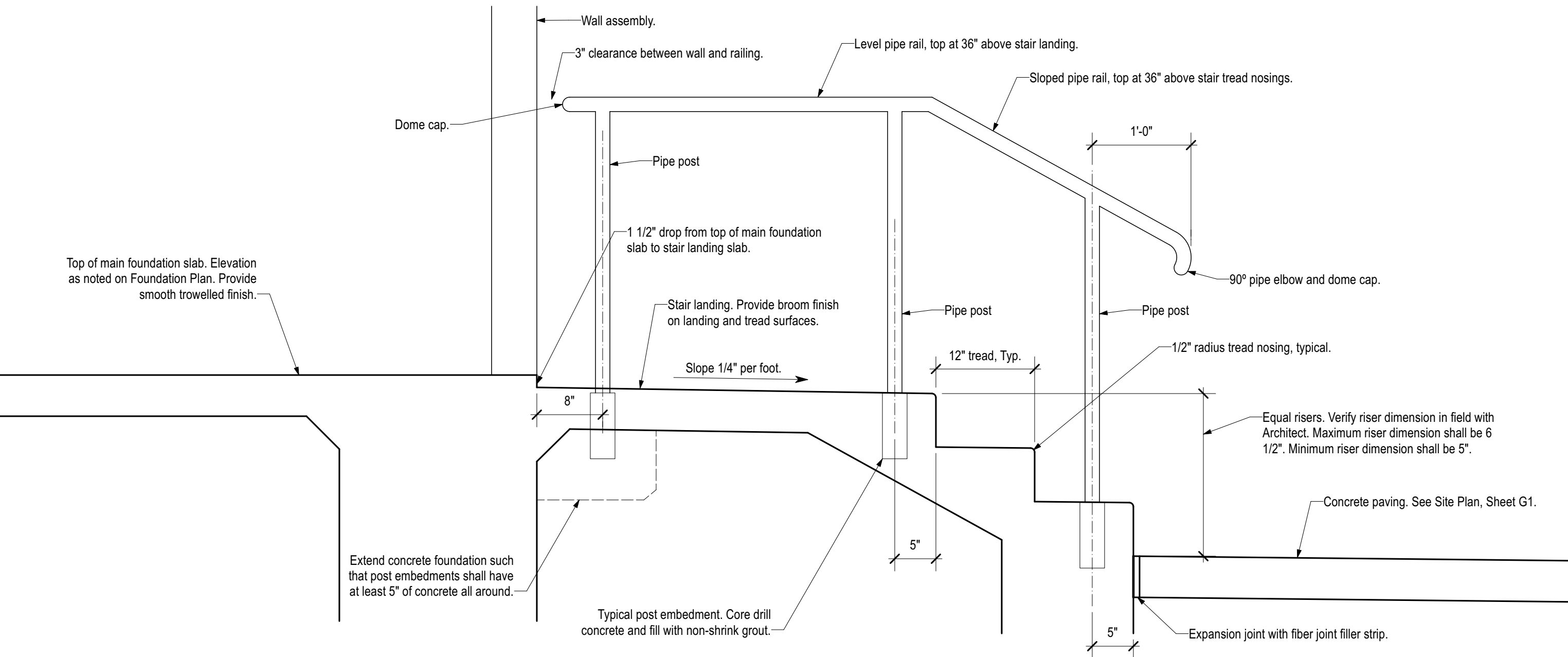
1  
A5  
Typical Exterior Wall Section Detail  
Scale: 1 1/2" = 1'-0"

2  
A5  
Typical Demising Wall Section Detail  
Scale: 1 1/2" = 1'-0"



Note: See Spec Sec 05 52 13 regarding railing assemblies.

**1**  
A6 Stair & Landing Detail with Typical Rail Assembly  
Scale: 1" = 1'-0"

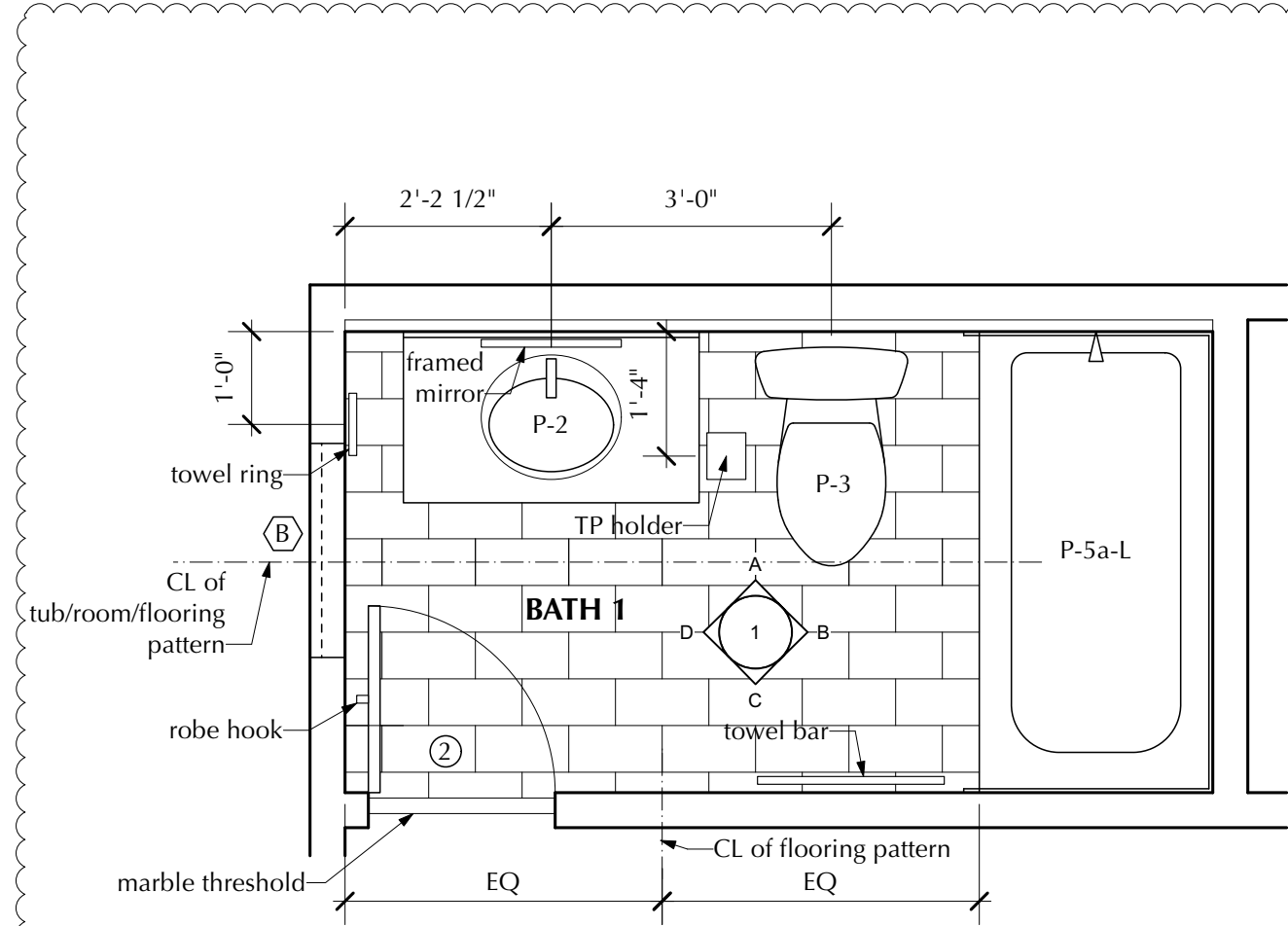


Note: See Spec Sec 05 52 13 regarding railing assemblies.

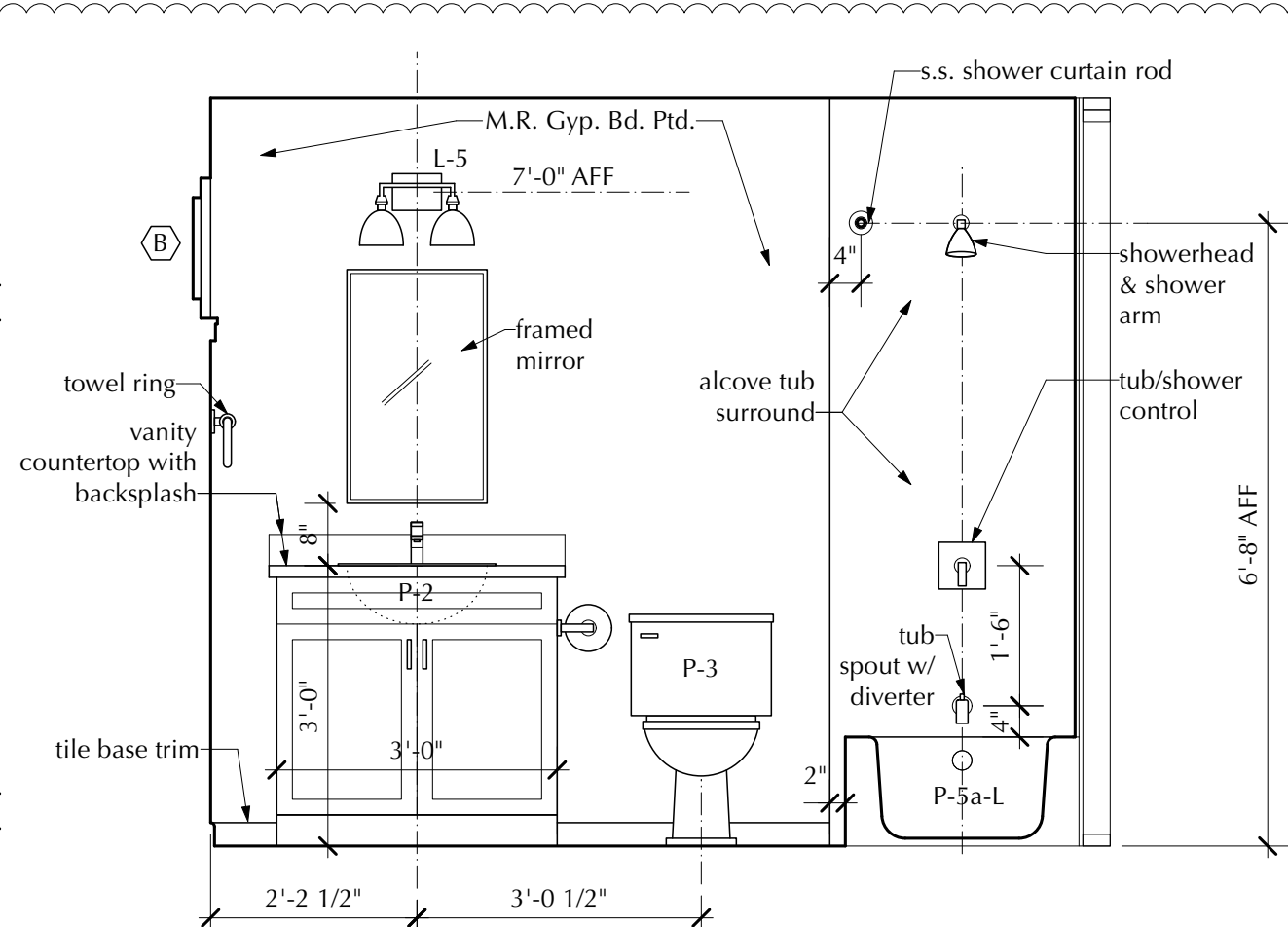
**2**  
A6 Stair & Landing Detail with Extended Rail Assembly  
Scale: 1" = 1'-0"



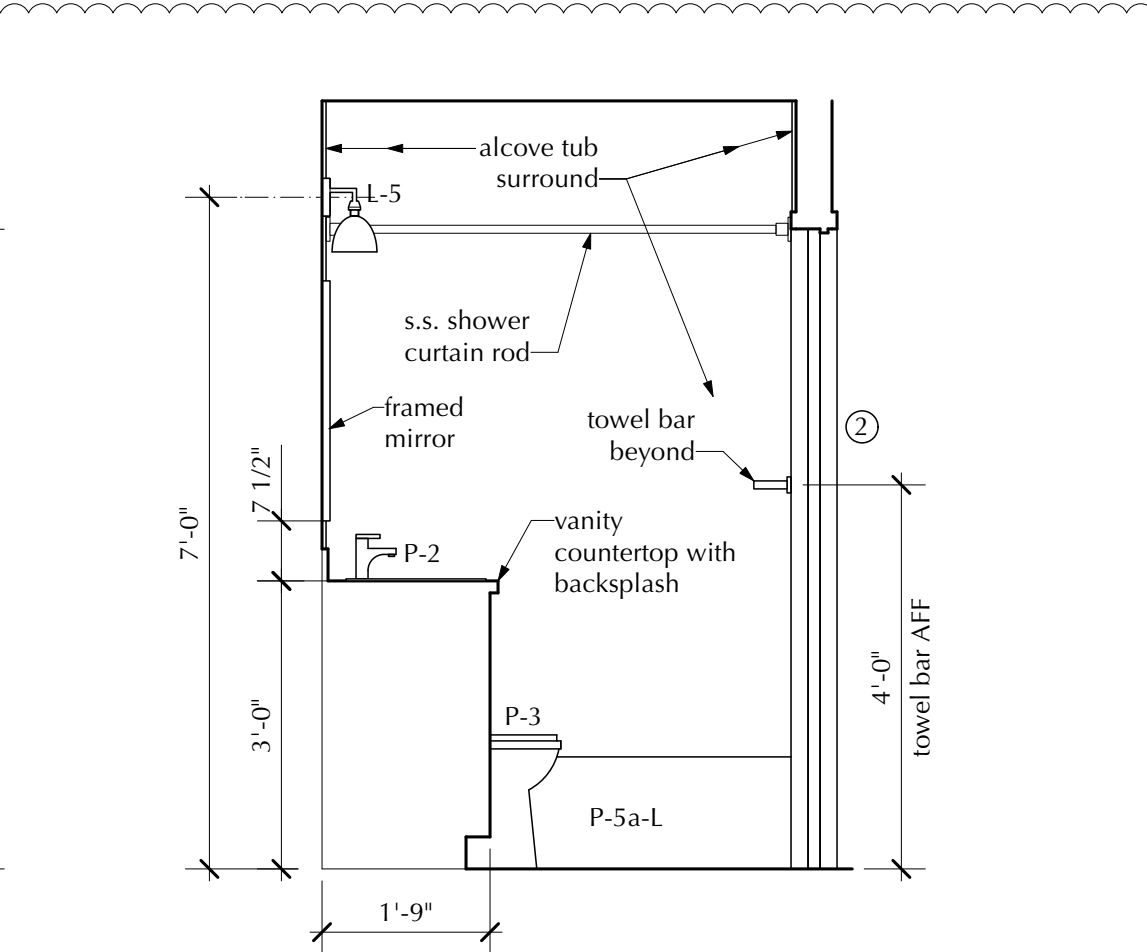




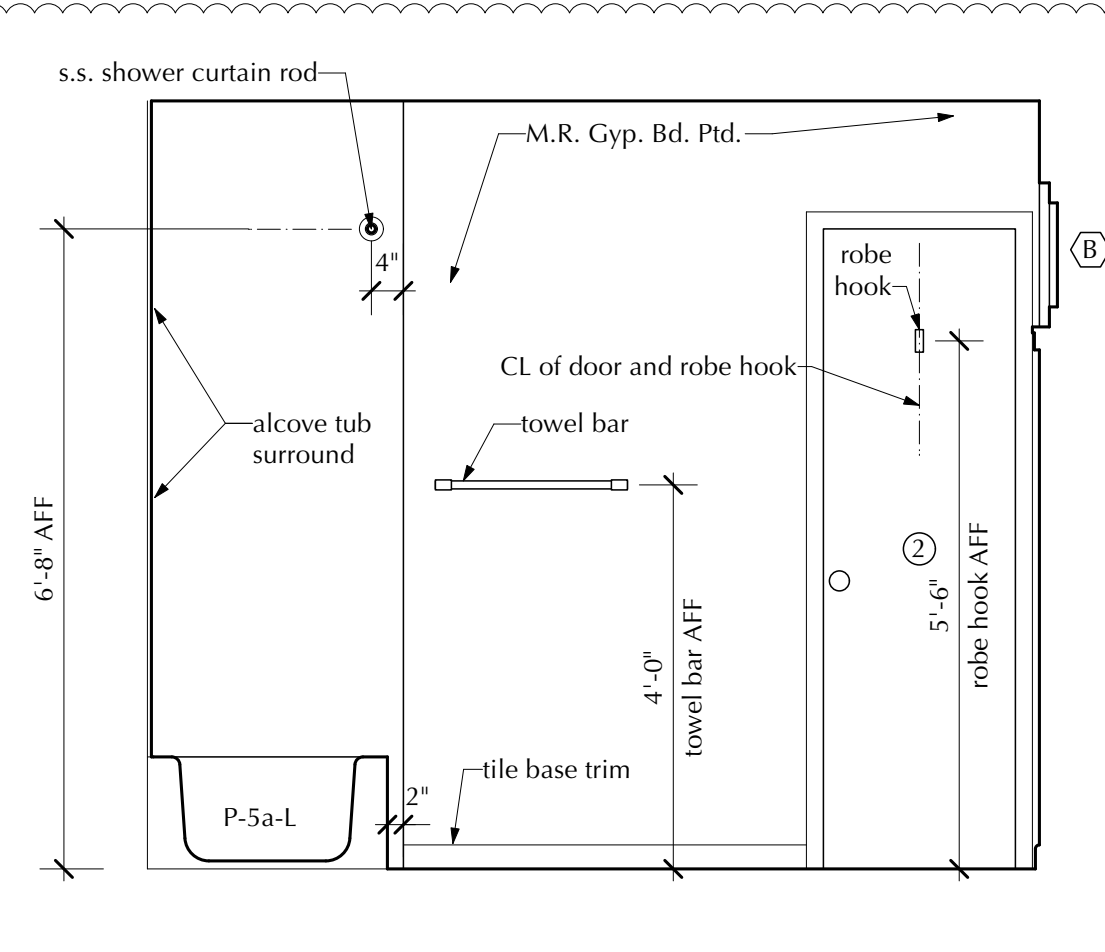
**1**  
**A7** **BATH 1 (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



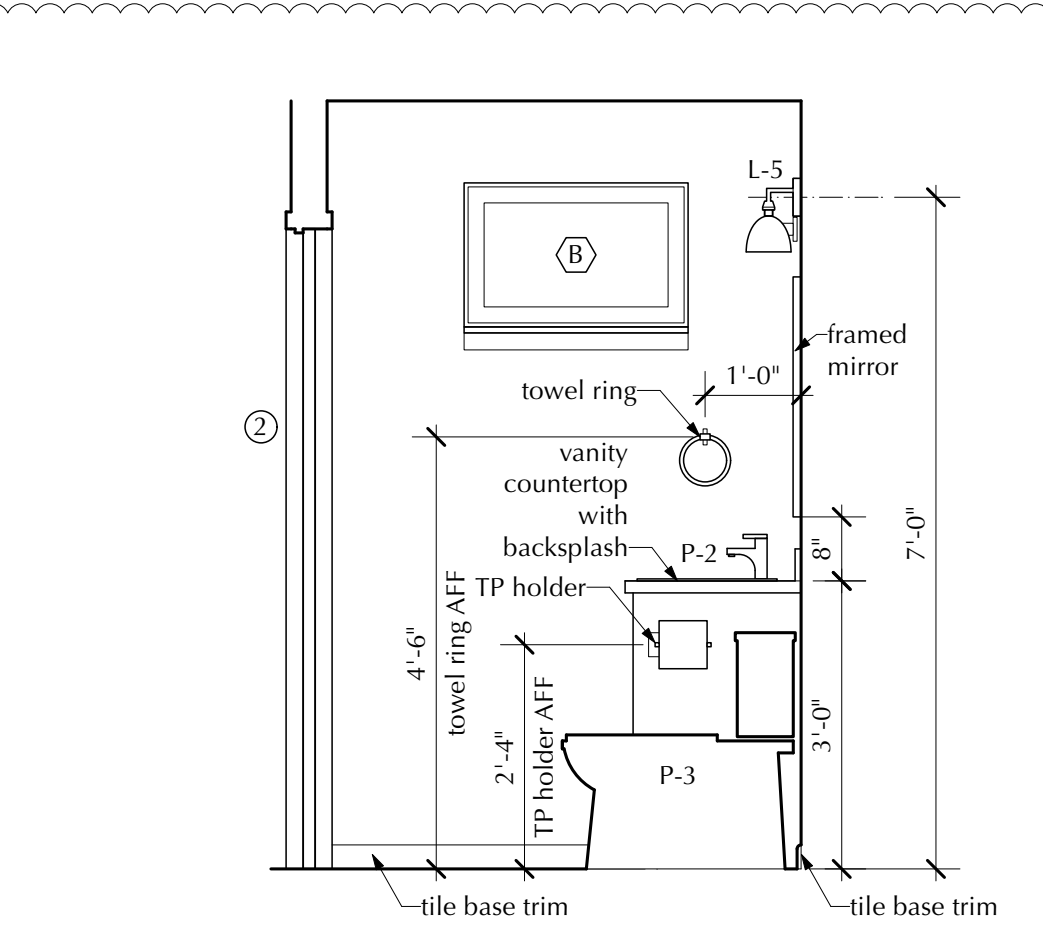
**1A**  
**A7** **BATH 1 (of Right Side Unit) | Int. Elev. | View of Wet wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



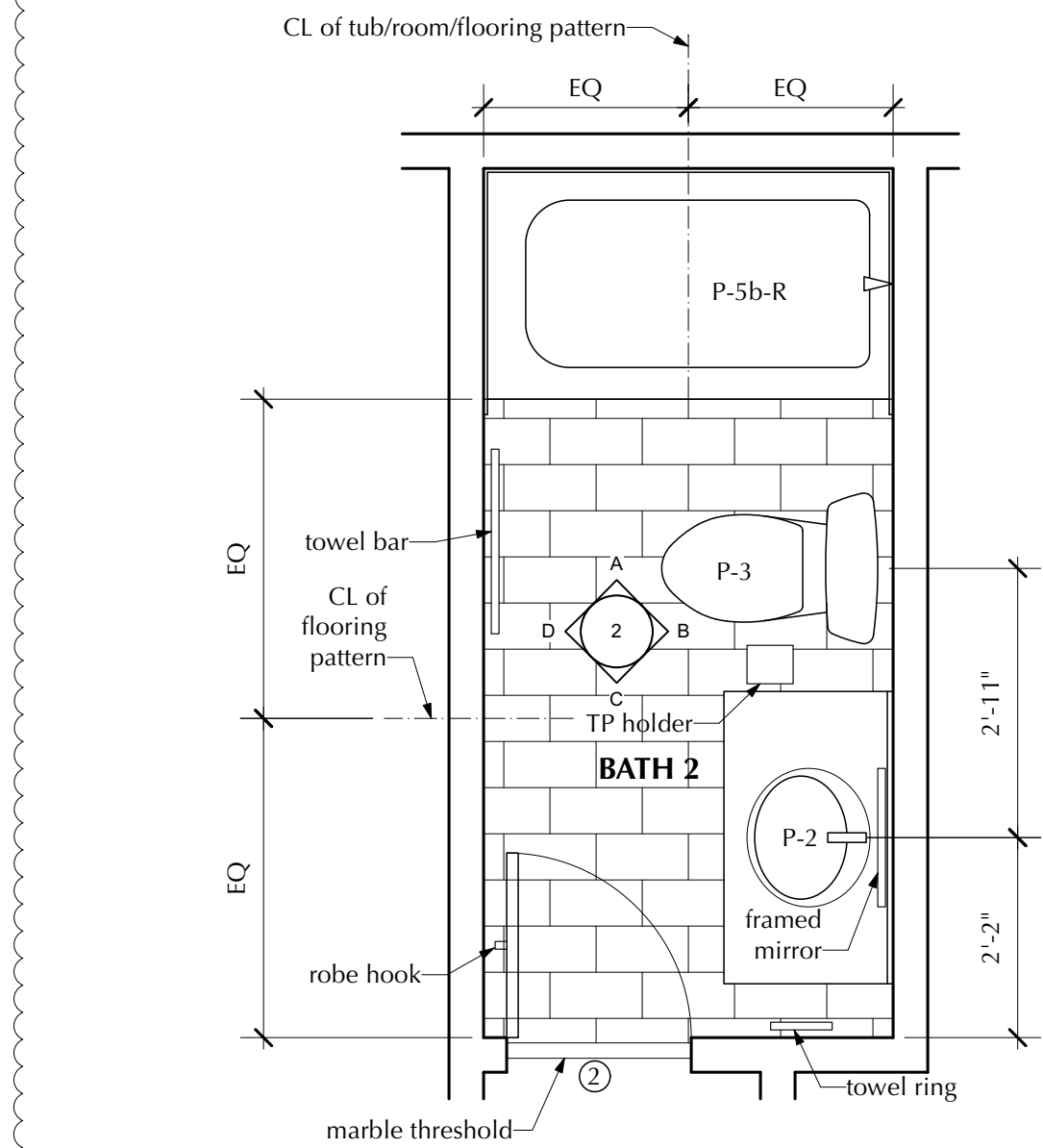
**1B**  
**A7** **BATH 1 (of Right Side Unit) | Int. Elev. | View of Tub Alcove**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



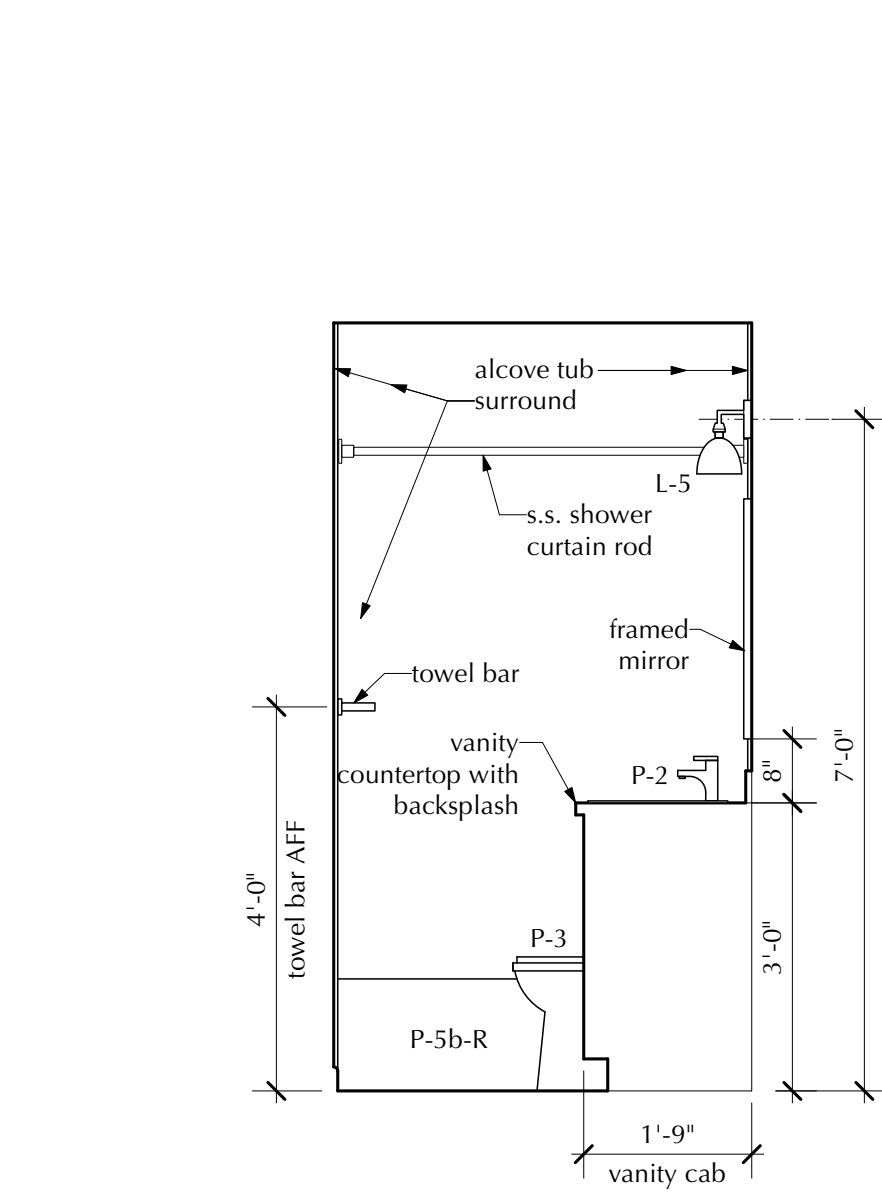
**1C**  
**A7** **BATH 1 (of Right Side Unit) | Int. Elev. | View of door wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



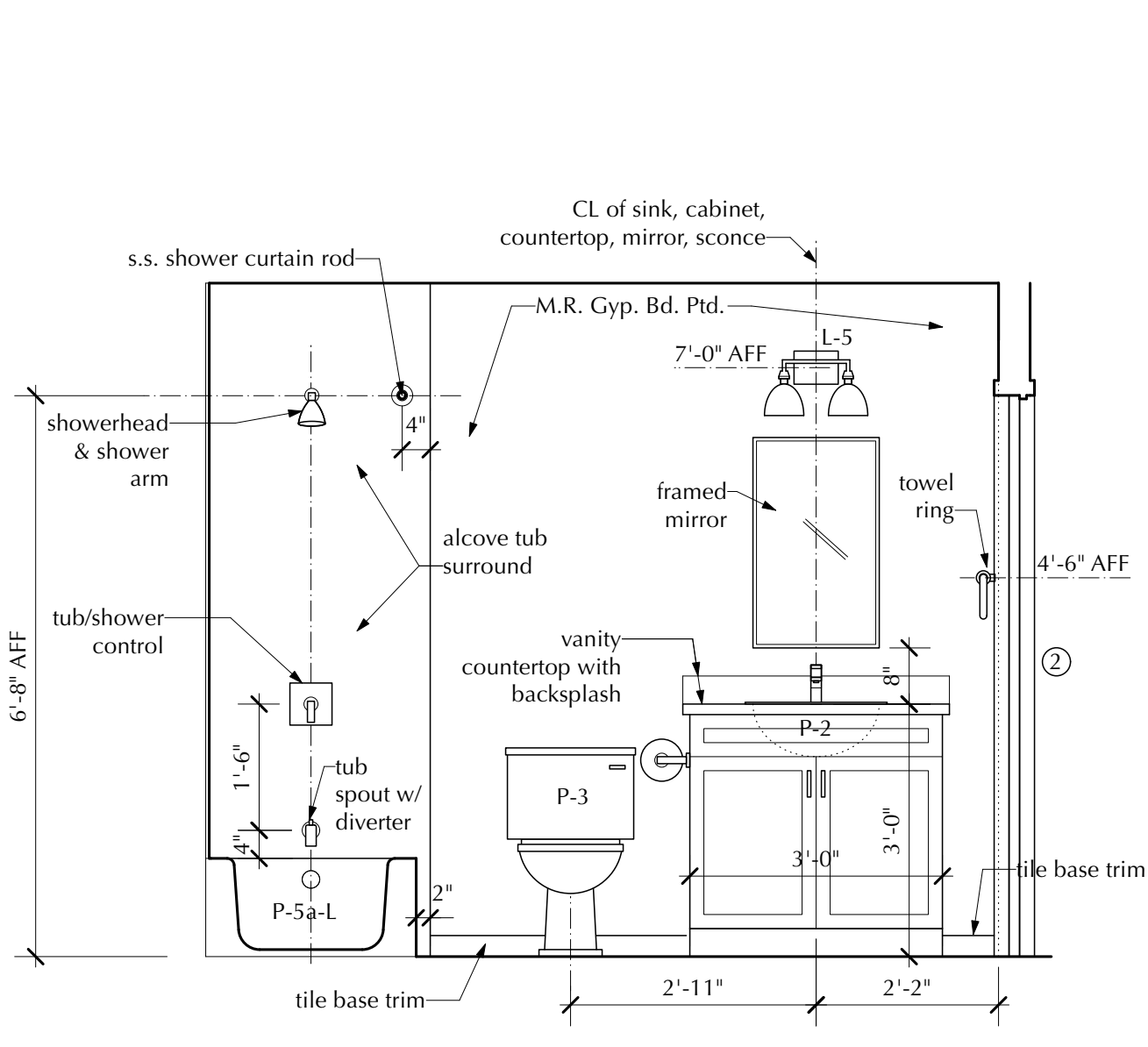
**1D**  
**A7** **BATH 1 (of Right Side Unit) | Int. Elev. of window wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



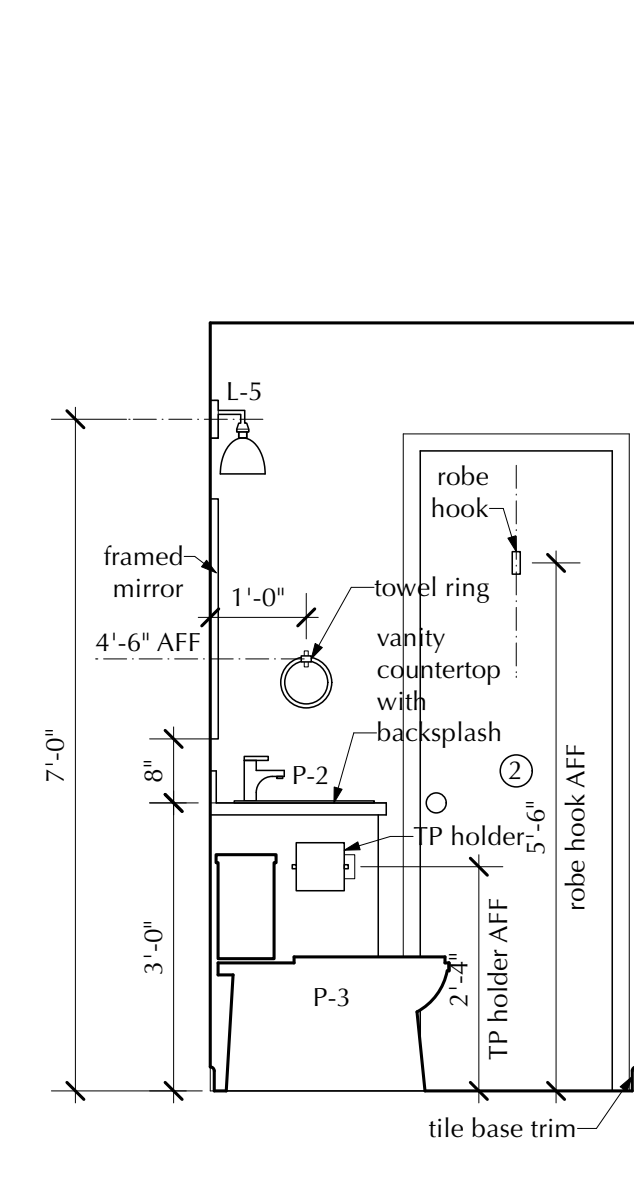
**2**  
**A7** **BATH 2 (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



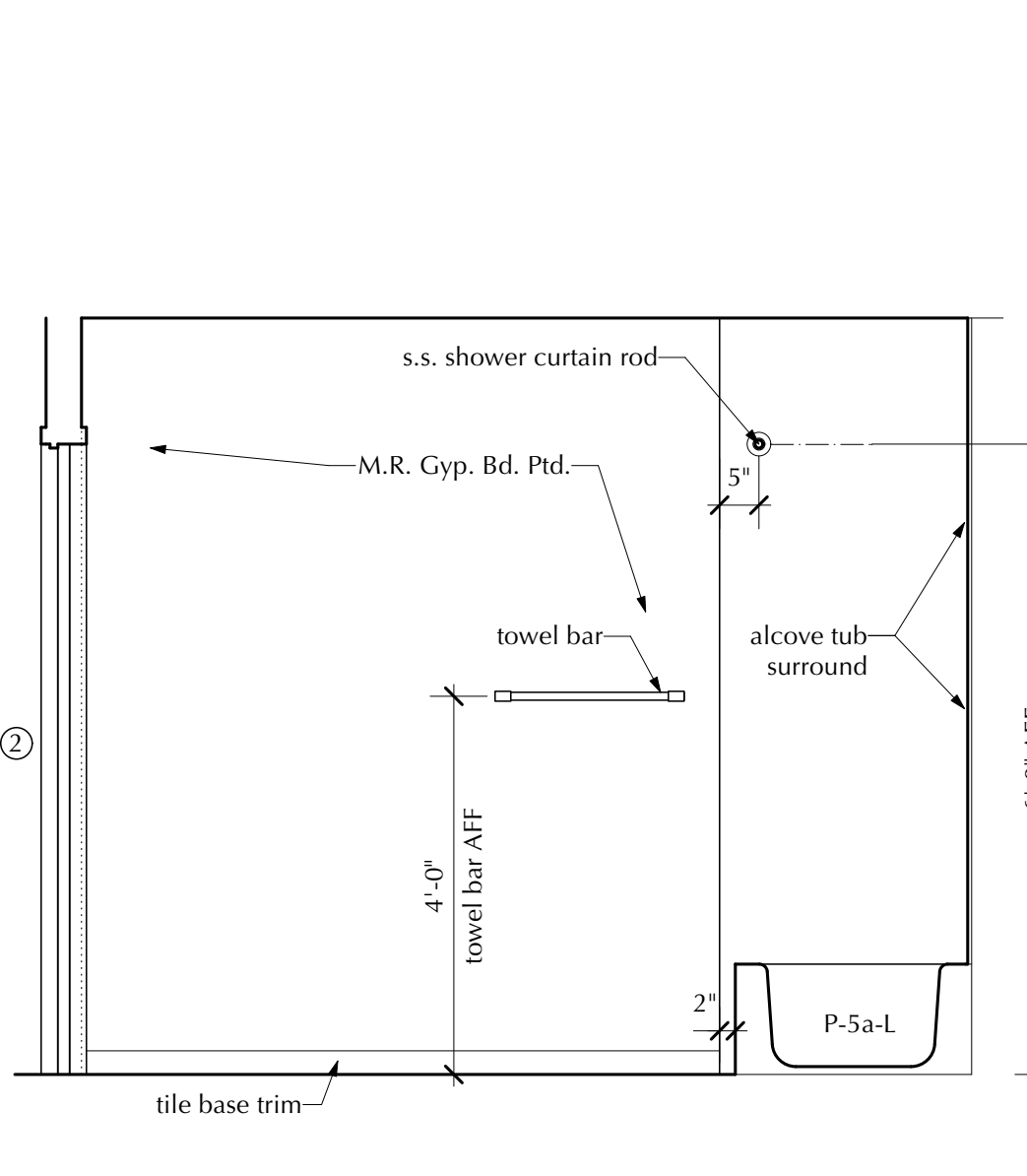
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**A7** **BATH 2 (of Right Side Unit) | Int. Elev. | View of Tub Alcove**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



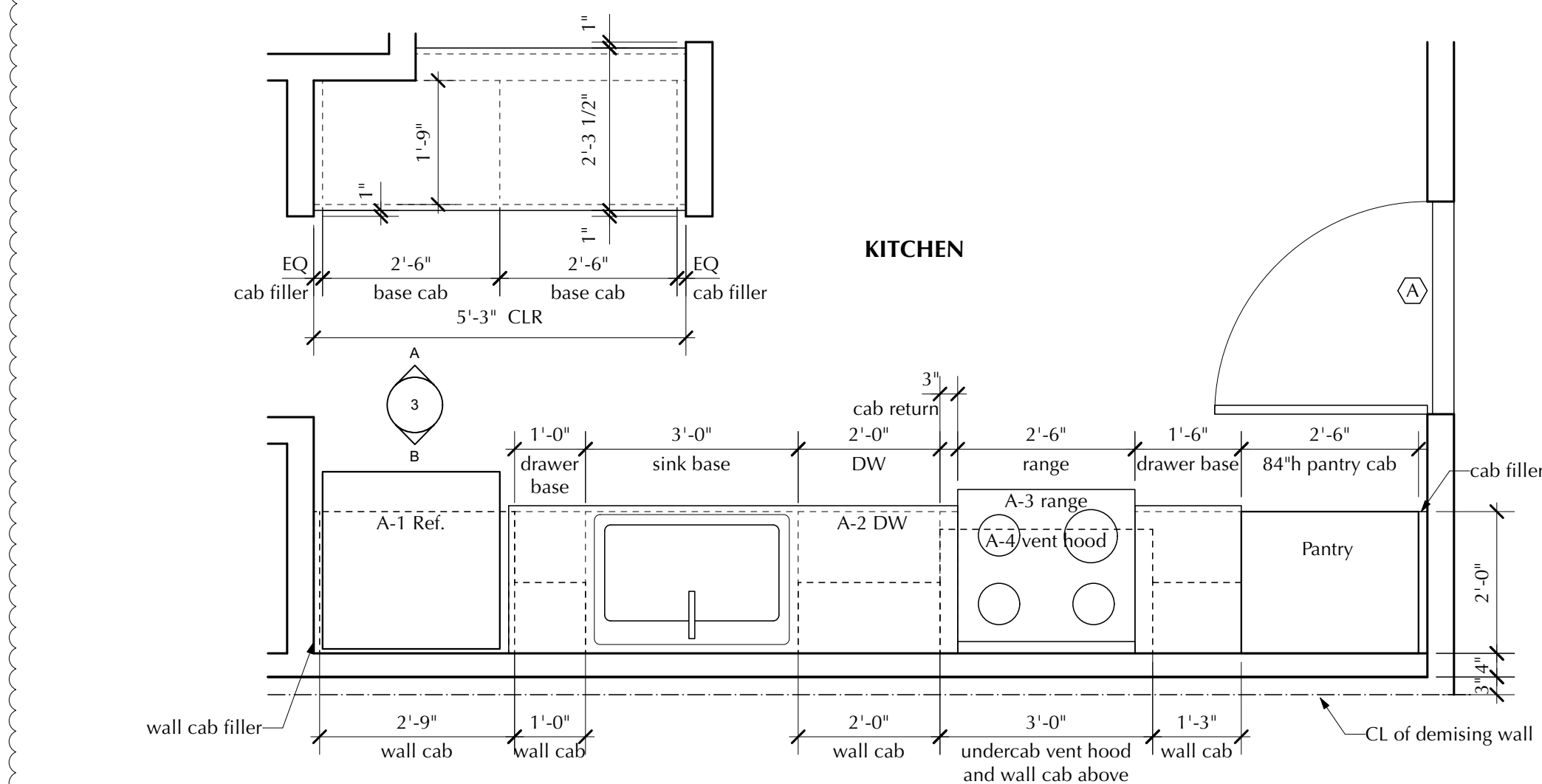
**2B**  
**A7** **BATH 2 (of Right Side Unit) | Int. Elev. | View of Wet wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



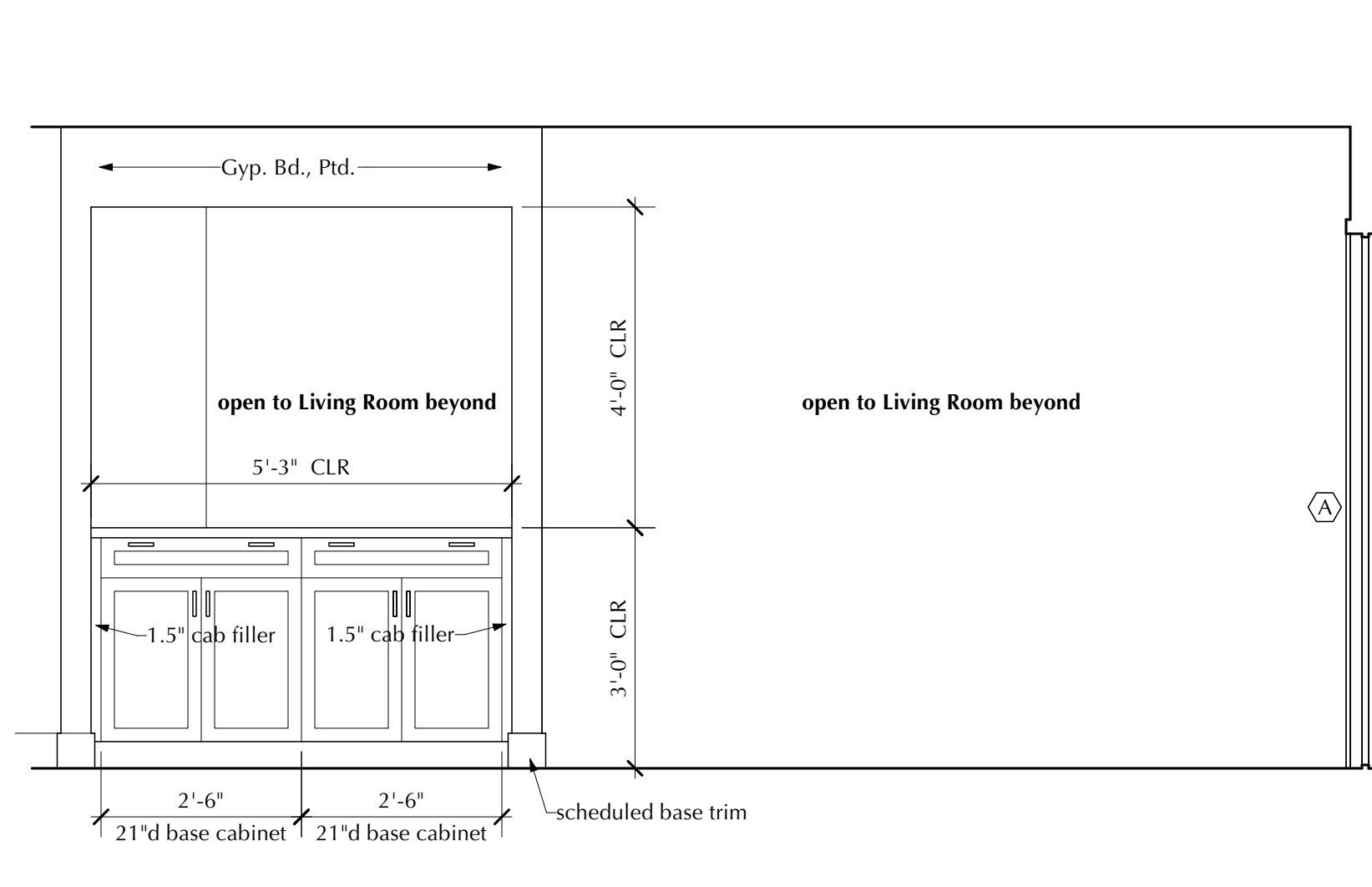
**2C**  
**A7** **BATH 2 (of Right Side Unit) | Int. Elev. | View of door wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



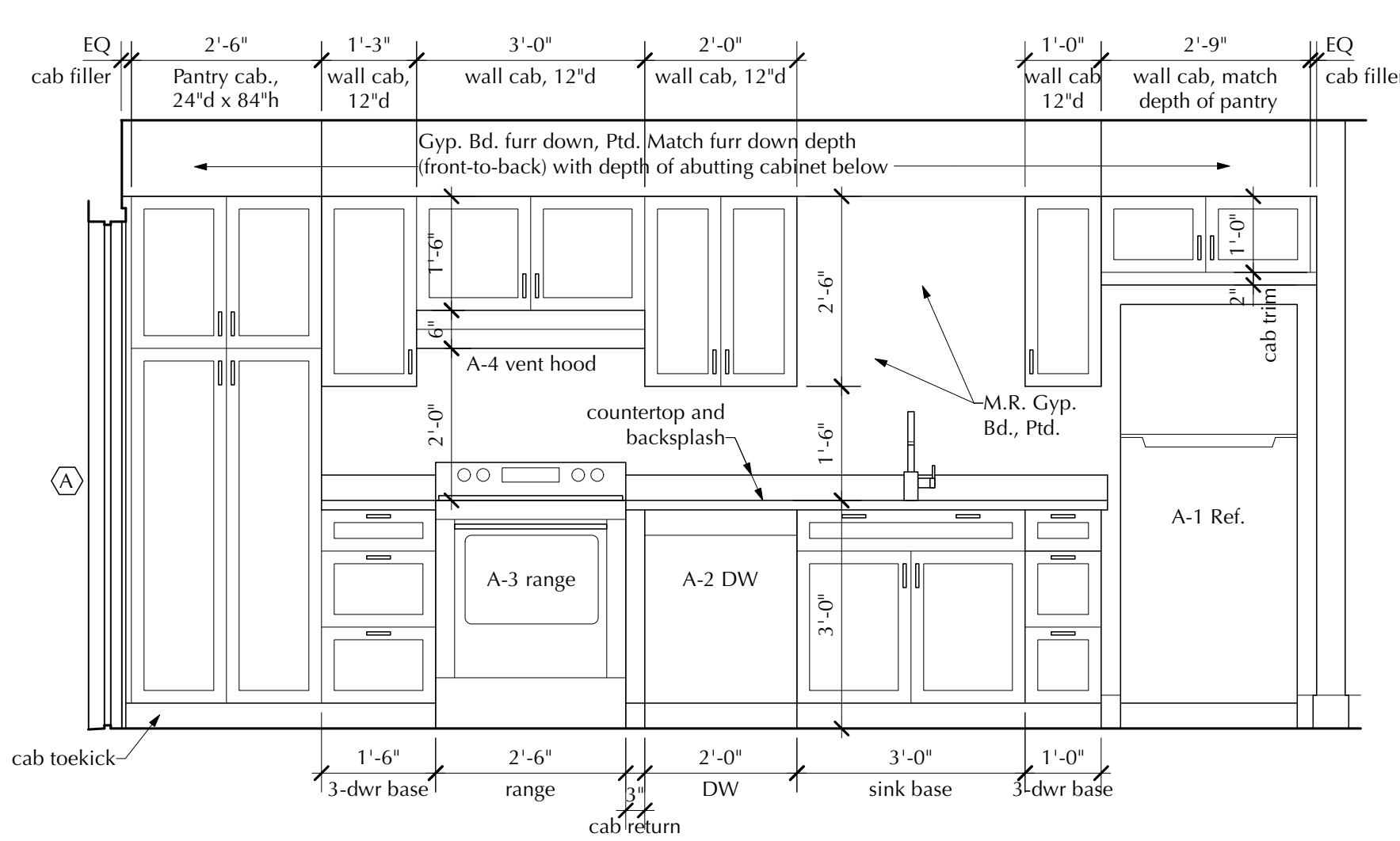
**2D**  
**A7** **BATH 2 (of Right Side Unit) | Int. Elev. | View of towel bar wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



**3**  
**A7** **KITCHEN (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



**3A**  
**A7** **KITCHEN (of Right Side Unit) | Int. Elev. | View Towards Living Room**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



**3B**  
**A7** **KITCHEN (of Right Side Unit) | Int. Elev. | View Towards Demising Wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit

NOTE: If the cabinet layouts shown on this drawing sheet differ from the cabinet layouts shown on Sheet A1, the cabinet layouts shown on this drawing sheet shall govern.



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1034 Joliet Street  
New Orleans, La 70118  
504- 864-9909 phone  
504- 864-9983 fax

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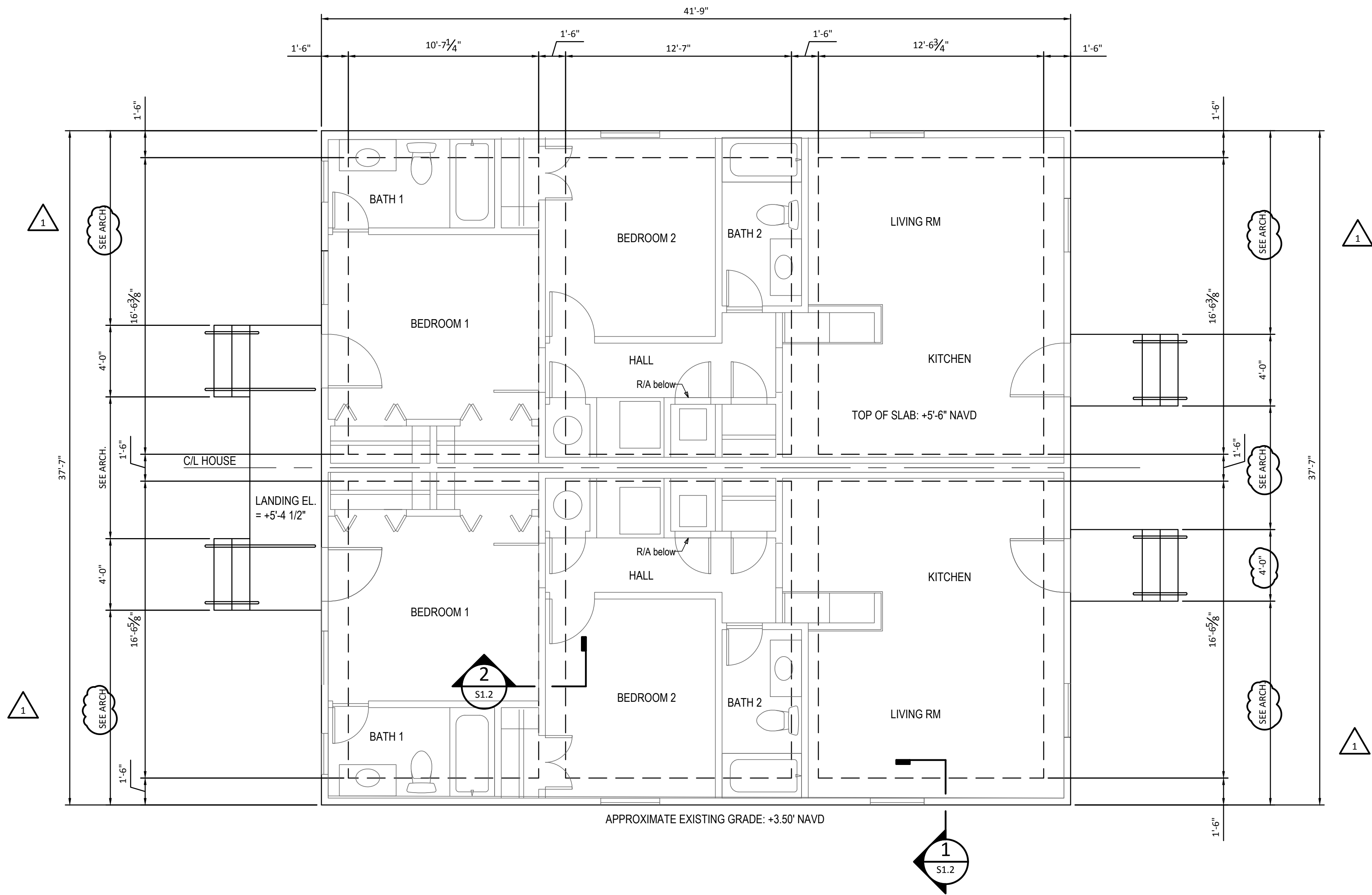
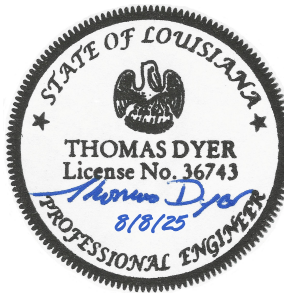
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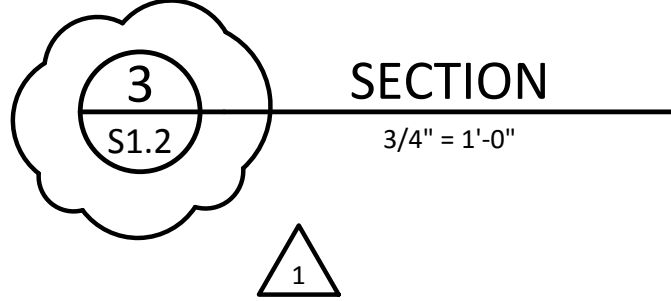
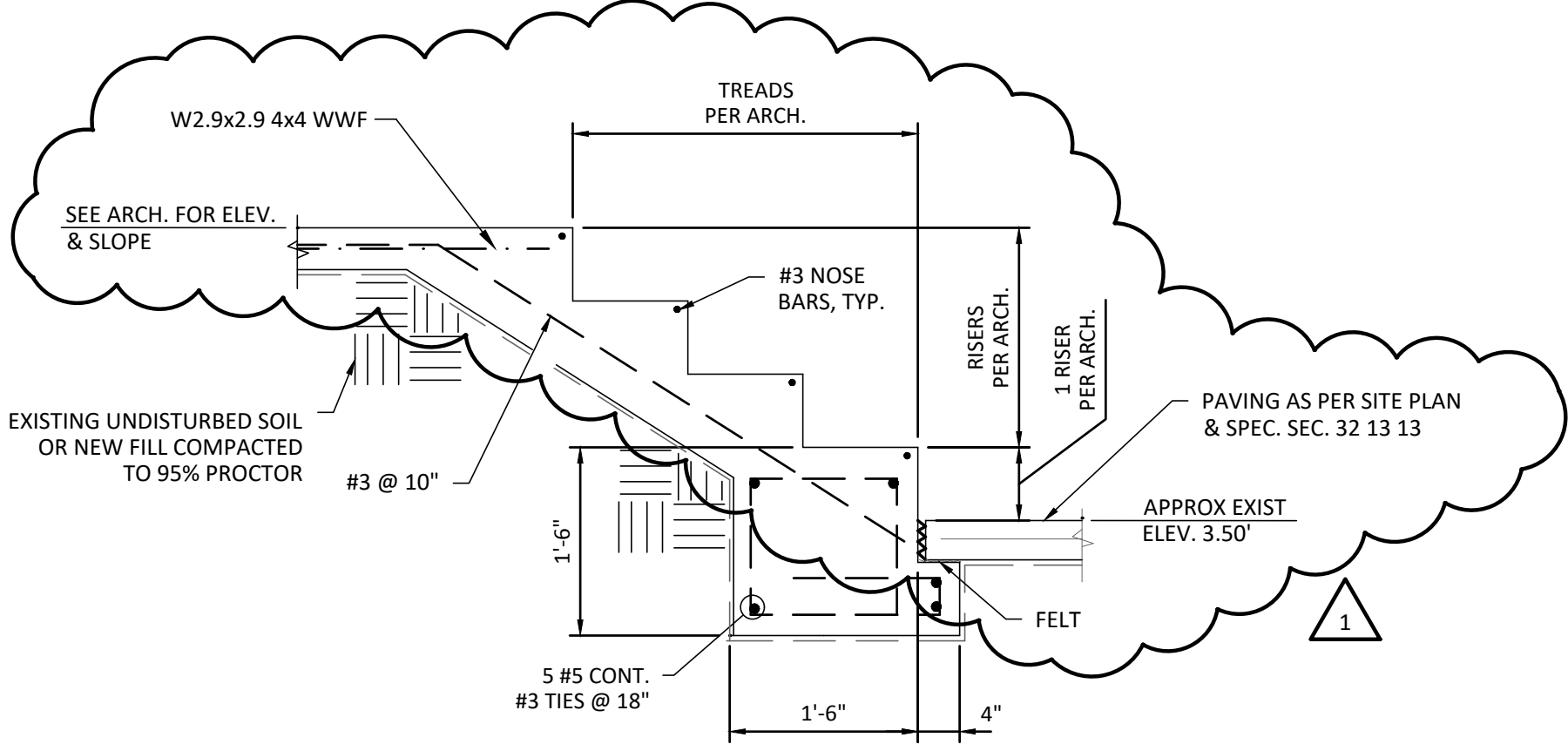
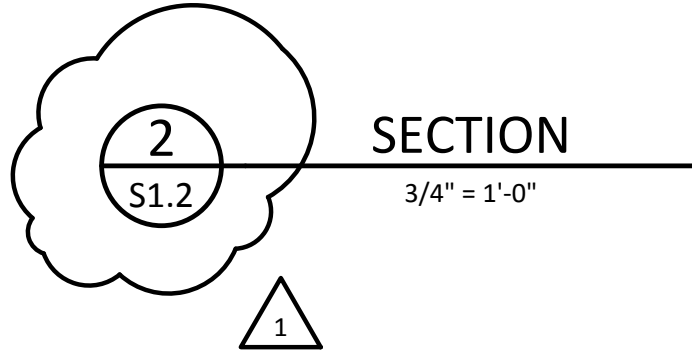
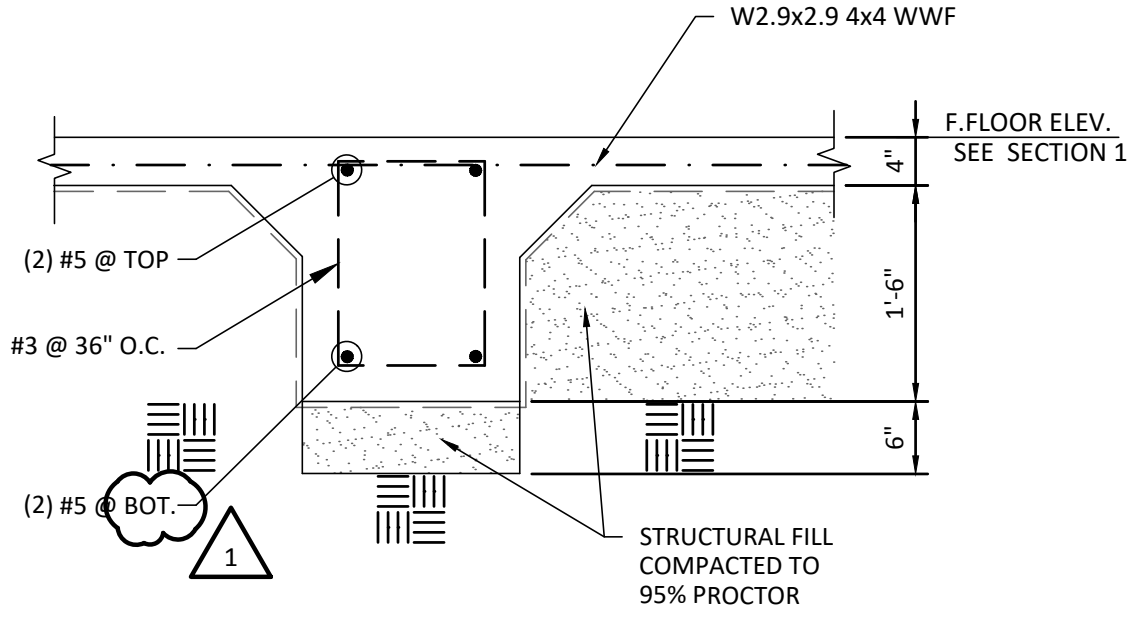
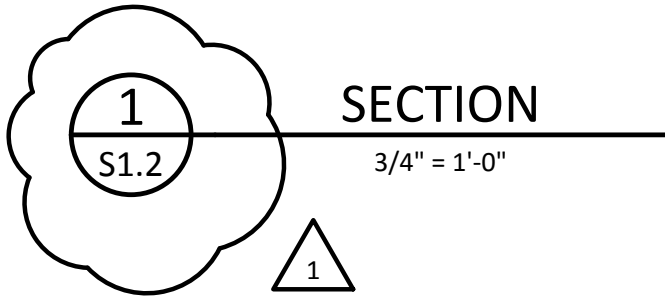
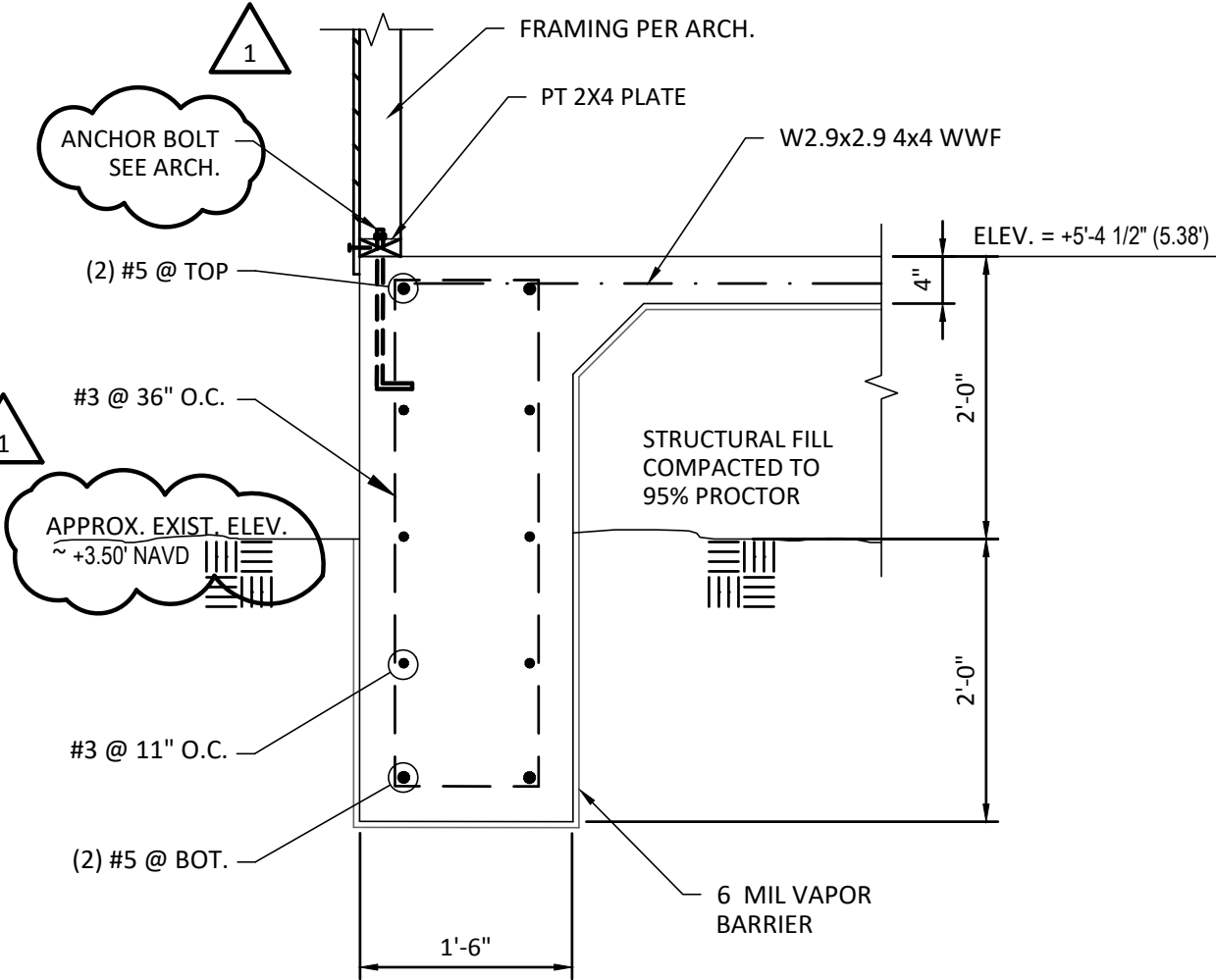
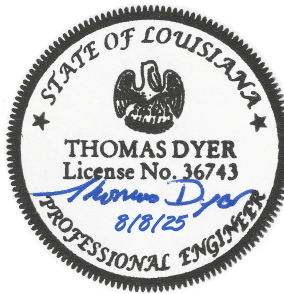
Vol. 0 Project No. 25-006  
drawn by APV  
sheet no.

S1.1



1440 & 1442 MANSFIELD AVENUE  
FOUNDATION PLAN  
1/4" = 1'-0"





**GENERAL NOTES:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF:  
AMERICAN CONCRETE INSTITUTE (ACI) LATEST EDITION  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) LATEST EDITION  
AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS (ASCE) LATEST EDITION  
AMERICAN FOREST AND PAPER ASSOCIATION NDS LATEST EDITION
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES AND OVERHEAD POWER LINES IN THE AREA OF THE WORK AND NOTIFY THE OWNER OF ANY INTERFERENCES BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND ELEVATIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (+/-) ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS IN THE FIELD.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (N.T.S) ARE NOT SHOWN TO SCALE
- THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED UNTIL CONSTRUCTION IS COMPLETE.

**DESIGN LOAD CRITERIA:**

CONCRETE, STRUCTURAL STEEL MEMBERS AND CONNECTIONS ARE DESIGNED PER IBC 2021 AND ASCE 7-22 BY ALLOWABLE STRESS DESIGN AND LRFD

LIVE LOADS:	WIND LOAD DATA:	SEISMIC LOAD DATA:
1ST FLOOR = 40 psf ROOF = 20LB/SQFT	PER ASCE 7-22 3-SEC PEAK GUST MPH ENVELOPE OPEN RISK CATEGORY II WIND SPEED = 139 MPH WIND EXPOSURE B INTERNAL PRESSURE COEFFICIENT +/- 0.55 COMPONENTS AND CLADDING: ROOF = + ZONE 1 = +18.66/-29.64 = + ZONE 2 = +18.66/-60.37 = + ZONE 3 = +18.66/-66.98 = + ZONE 2 + 3 WIDTH = 5 FT	SITE CLASS D SMS = 0.15 SM1 = 0.13 SDS = 0.097 SD1 = 0.085

**CONCRETE NOTES:**

- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
  - ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
  - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
  - ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- CONCRETE ADMIXTURES SHALL NOT BE USED WITHOUT OWNER PRIOR APPROVAL.
- PROVIDE ANCHOR/RODS BOLTS CONFORMING TO ASTM F1554 GRADE 36, HEAVY HEXAGON NUTS CONFORMING TO ASTM A563 AND WASHERS CONFORMING TO F436. GALVANIZE BOLTS, NUTS, SLEEVES AND WASHERS IN ACCORDANCE ASTM A153. REINFORCING BARS SHALL CONFORM TO ASTM A615 REQUIREMENTS FOR GRADE 60 DEFORMED BARS. DETAILING & FABRICATION SHALL BE IN ACCORDANCE WITH ACI 315.
- THE CONTRACTOR SHALL POUR (4) CONCRETE TEST CYLINDERS, PER 50 CY IN ACCORDANCE WITH ASTM C31 AND TEST THE CYLINDERS IN ACCORDANCE WITH ASTM C39. PROVIDE THE TEST RESULTS TO THE ARCHITECT. SEE SPEC. SEC. 01 45 23 - TESTING LABORATORY SERVICES.

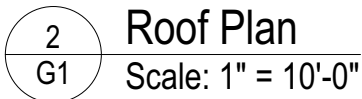
**EARTHWORK NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE IN PERFORMING ALL EARTH WORK IN ACCORDANCE WITH SPECIFICATION 2200.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR MAINTAINING THE STABILITY OF ALL EXCAVATED FACES IN COMPLIANCE WITH OSHA REQUIREMENTS UNTIL FINAL ACCEPTANCE OF THE WORK.
- ALL LIFTS SHALL BE HEAVILY PROOF-ROLLED WITH A MODERATELY HEAVY LOADED PNEUMATIC ROLLER. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOADS SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED FILL.  
**BACK FILL:**
- SHALL BE A CLASSIFIED AS CL, SP OR SP-SM. CL SHALL HAVE A LL LESS THAN 40 AND PLASTICITY INDEX BETWEEN 12 AND 22. SAND SP SHALL HAVE LESS THAN 10% PASSING THE 200 SIEVE.
- ALL FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 9 INCHES AND COMPACTED TO 95% MODIFIED PROCTOR.
- EXCESS EXCAVATED MATERIAL AND/OR UNUSED BACK FILL MATERIALS SHALL BE REMOVED AND HAULED TO AN AREA DESIGNATED BY OWNER.
- WASHED SAND SHALL COMPLY WITH ASTM C33 FOR FINE AGGREGATE CONCRETE SAND.
- SOIL BEARING CAPACITY ~ 2000 psf  
SOIL TYPE #17 PER JEFFERSON PARISH SOIL MAPS



Abv.	ABOVE
A/C	AIR CONDITIONING
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
ASF	ABOVE SUB-FLOOR
AHU	AIR HANDLING UNIT
Alum.	ALUMINUM
Approx.	APPROXIMATE(LY)
Apt.	APARTMENT
Arch.	ARCHITECT(URAL)
ARRA	AMERICAN RECOVERY AND REINVESTMENT ACT
ASF	ABOVE SUB-FLOOR
A.T.	ALUMINUM THRESHOLD
Bd.	BOARD
BFE	BASE FLOOD ELEVATION
Bldg.	BUILDING
Blk.	BLOCK (ING)
Bm.	BEAM
Btm.	BOTTOM
Btwn.	BETWEEN
Cab.	CABINET
Cem.	CEMENT
CJ	CONTROL JOINT
CL	CENTERLINE
Clg.	CEILING
CMU	CONCRETE MASONRY UNIT
Col.	COLUMN
Conc.	CONCRETE
Cont.	CONTINUOUS
Cu Yds	CUBIC YARDS
D	DRYER
DbI.	DOUBLE
Demo.	DEMOLISH, DEMOLITION
Diag.	DIAGONAL
Dim.	DIMENSION
DN	DOWN
Dr.	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
E	ELECTRICAL DRAWINGS AND SPECIFICATIONS
EIFS	EXTERIOR INSULATING FINISH SYSTEM
EJ	EXPANSION JOINT
Elev.	ELECTRIC(AL)
Elev.	ELEVATION
EQ	EQUAL
Exist.	EXISTING
Ext.	EXTERIOR
FE	FIRE EXTINGUISHER
FJ	FINGER-JOINED PINE OR FIR
Ft.	FOOT (FEET)
Galv.	GALVANIZED
GFI	GROUND FAULT CIRCUIT INTERRUPTER
Gyp.	GYPSUM
HB	HOSE BIB
HC	HOLLOW CORE
HM	HOLLOW METAL
Ht.	HEIGHT
HVAC	HEATING/VENTILATING/AIR CONDITIONING
IBC	INTERNATIONAL BUILDING CODE, 2021 EDITION
ID	INNER DIAMETER
In.	INCHES
Insul.	INSULATION, INSULATING
Int.	INTERIOR
IRC	INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION

1. The Contractor shall verify all relevant dimensions and field conditions before proceeding and shall notify the Architect of any discrepancies between existing field conditions and how they are portrayed in these drawings. Contractor shall verify the fit of all proposed construction.
2. Provide final cleaning of the project area as per Specification Section 01 77 00.
3. The Contractor shall make a reasonable effort to prevent hazards & inconveniences to neighbors and the general public. The Contractor shall make a reasonable effort to provide for the safety of persons on the public right of way(s) adjacent to the site and shall secure any necessary permits for barricades, signs, covered walks or other safety features. Such safety features, as deemed to be reasonable, shall be within the Contractor's scope of work.
4. Construction means and methods shall be the responsibility of the Contractor.
5. All materials, fixtures, etc. shall be new unless otherwise specified and shall be handled & installed according to all of the manufacturers' instructions & recommendations. Should the Contractor discover an apparent discrepancy between the manufacturer's instructions & recommendations and the Project Drawings and/or Project Specifications, the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
6. The Contractor shall acquire all the required permits to perform the work, and the work shall comply with all applicable codes & laws. Should the Contractor discover an apparent discrepancy between applicable codes & laws and the Project Drawings and/or Project Specifications the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
7. The Contractor shall promptly notify the Architect if any discrepancies within the Contract Documents are discovered. In the absence of prompt feedback from the Architect, the Specifications documents shall take precedence over the Drawings. If there are apparent discrepancies within the Drawings and/or Specifications that are not clarified by the Architect prior to the submission of bids for construction, the construction bid amount shall be for the most costly of the apparently conflicting work items.
8. For all houses with two living units that are mirror images of each other, all items shown and noted for one of the living units shall also apply to the other living unit.



CONSTRUCTION TYPE: Light wood frame with no fire suppression system. IBC Type Vb.

OCCUPANCY TYPE: Residential, one- or two- family dwelling.

BUILDING GROSS INTERIOR FLOOR AREA: as indicated on Site Plan.

BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE (IRC), 2021 Edition, as modified by any Jefferson Parish amendments and as modified by any State of Louisiana amendments.

1. For work in the public right-of-way, comply with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
2. Paving within the Lot boundaries shall be 5" thick and reinforced with 6"X12" (wire spacing) highway mesh, 0/1 gauge. Mesh shall be at mid-height of concrete thickness.
3. Concrete formulation and performance shall match that required by Jefferson Parish for driveway aprons; see the three (3) Appendix drawing sheets.
4. Minimum side yard setback requirement is five feet, and minimum distance of new combustible construction to any property line is five feet. Non-combustible, un-roofed construction (e.g.: a concrete stair with metal handrails) is allowable within required yard spaces.
5. The finish surface of paving within the Lot shall match the finish surface of the new paving in the public right-of-way, which shall be in compliance with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
6. All areas on the Lot that are not covered with paving, planting beds, or the new house shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
7. All unpaved areas between the Lot and the paved vehicular street shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
8. Provide river sand fill under paving as required to achieve the specified elevations.
9. Provide fill as required to fill any low spots on the site.
10. The Contractor shall maintain the site (including the entire Lot and all portions of the adjacent public right-of-way between the Lot and the paved vehicular street paving) for the duration of the Contract Period. This maintenance shall include grass cutting.
11. Plant grass sod wherever existing grass is damaged by Contractor's activities, including traffic (foot traffic and vehicular traffic), temporary facilities, excavation, and storage. As preparation, loosen soil where compacted and add backfill as required to eliminate low spots.
12. Plant grass sod wherever new backfill is provided without a cover of new paving or new ornamental planting.

EP:	Edge of new paving. Provide trowelled radius edge.
AL:	Align paving edge with other construction as shown.
CJ:	Control joint, typical (shown as dotted line). Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CJP:	Control joint along property line. Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CLF:	New chain link fence assembly.
L:	New concrete landing at bottom of stair. New concrete paving abutting lowest stair riser shall be at elevation such that the vertical dimension of lowest riser shall be equal to the vertical dimension of upper stair risers.
P@stair:	Provide expansion joint with fiber joint filler strip between paving and stair. Slope paving surface 3/16" per foot away from house.
S316:	Slope 3/16" per foot.
SR:	Slope as required. In the public right-of-way, comply with Jefferson Parish slope requirements; see the three (3) Appendix drawing sheets.
FL:	Surface of new driveway apron flush with surface of existing street paving.

Dorian Rawles, Executive Director

**OWNER:**  
Jefferson Parish Housing Services Development District (JPHSDD)  
121 Paillet Drive, Harvey LA 70053  
office phone: (504) 342-4475

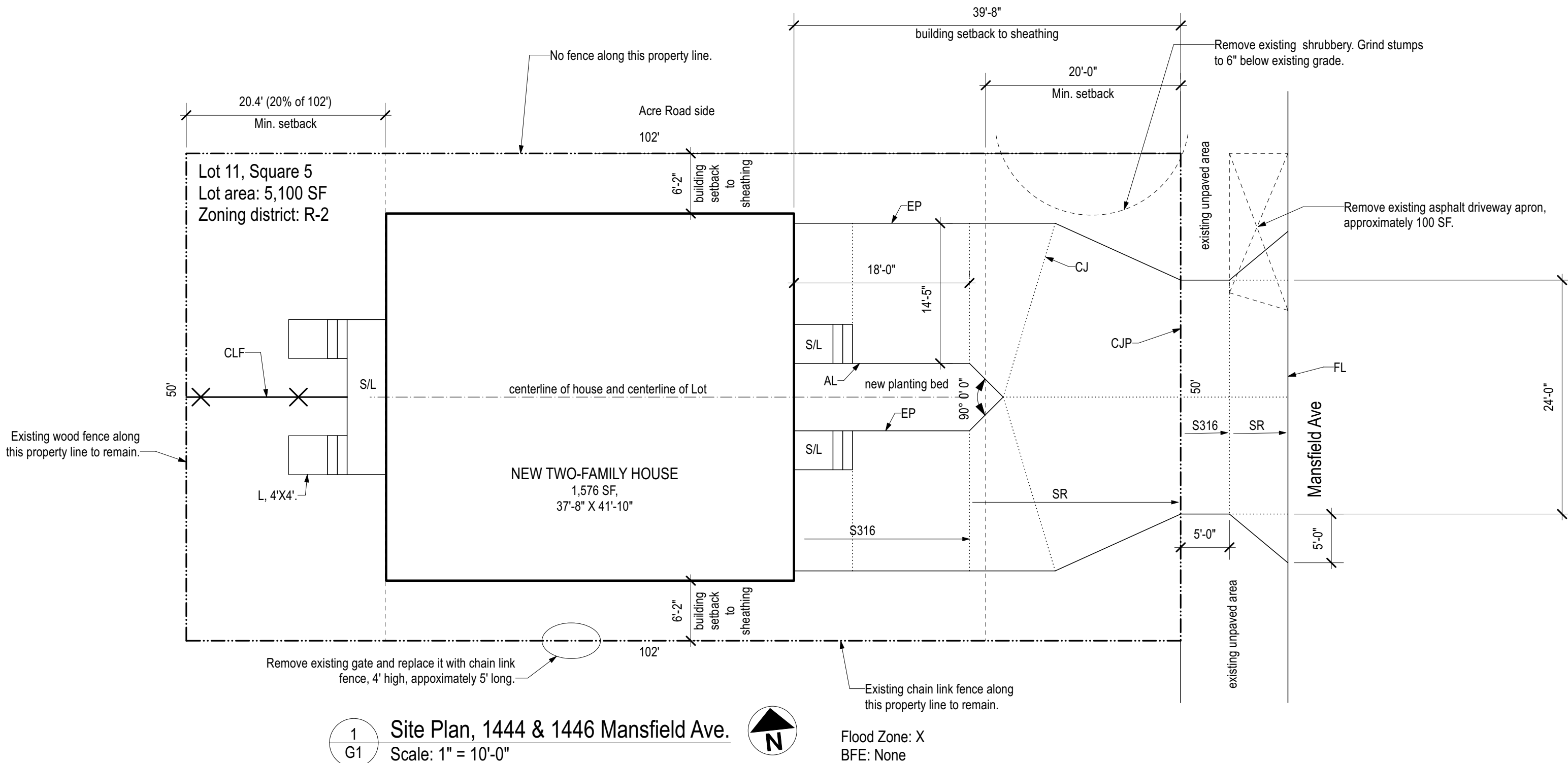
**ARCHITECT:**  
Volume Zero LLC  
Michael Cajski, Project Architect  
1034 Joliet St., New Orleans LA 70118-1164  
office phone: (504) 864-9909  
michael@volumezero.com

**CIVIL/STRUCTURAL ENGINEER:**  
Kyle Associates LLC  
638 Village Lane N, Mandeville LA 70471  
Thomas Dyer, Project Engineer

	GENERAL (G)
G1	Index of Drawings, Site Plan, Roof Plan, Miscellaneous Notes
	ARCHITECTURAL (A)
A1	Floor Plan, MEP Plan
A2	Finish Schedule, Symbol Legends, Key
A3	Miscellaneous Schedules
A4	Building Section, Exterior Elevations
A5	Details, including building envelope details
A6	Details, including stair and railing details
A7	Interior Elevations

	STRUCTURAL (S)
S1.1	Foundation Plan
S1.2	Foundation Notes & Details

LANDSCAPE (LS)
LS1 Landscape Plan & Planting Schedule



Flood Zone: X  
BFE: None  
EL. @ centerline of street: +3.90' NAVD  
EL. @ Lot: +3.50' NAVD  
Min. requirement for new Conc. slab Elev.: +5.40' NAVD (18" above centerline of street)  
Specified new Conc. slab Elev.: +5'-6" NAVD.

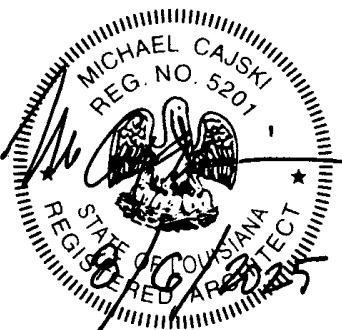
Volume **(Zero)**  
architectural design studio

1034 Joliet Street  
New Orleans, LA 70118  
504-864-9909 phone  
504-864-9983 fax

a limited liability company

Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002

Issue and print dates:

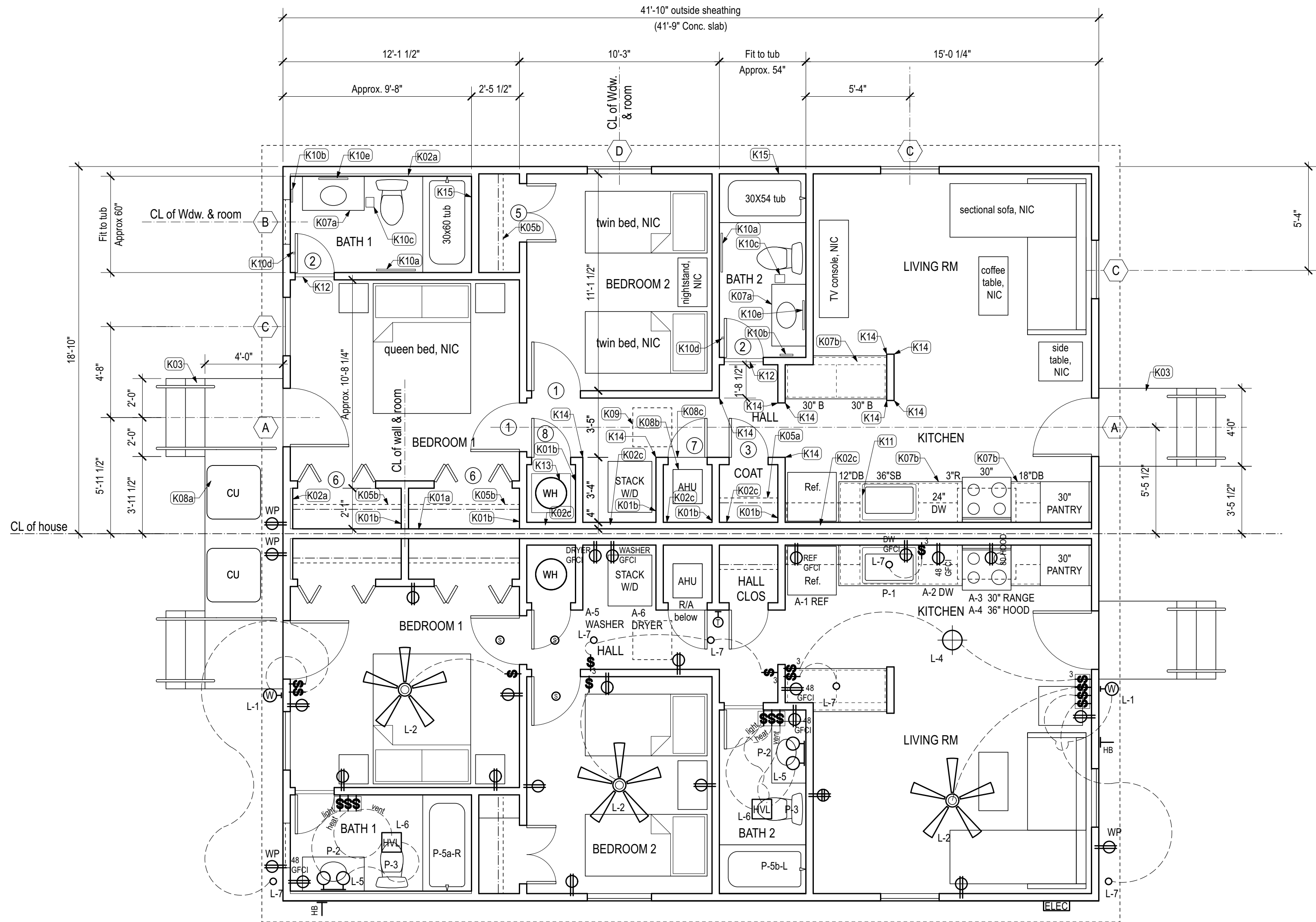


Vol. 0 Project No. 25-006

drawn by MC

sheet no.

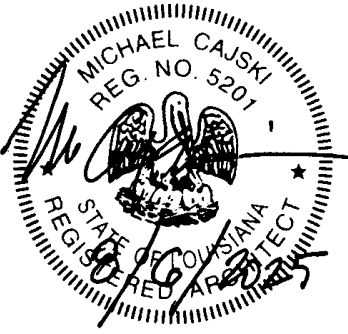
# G1



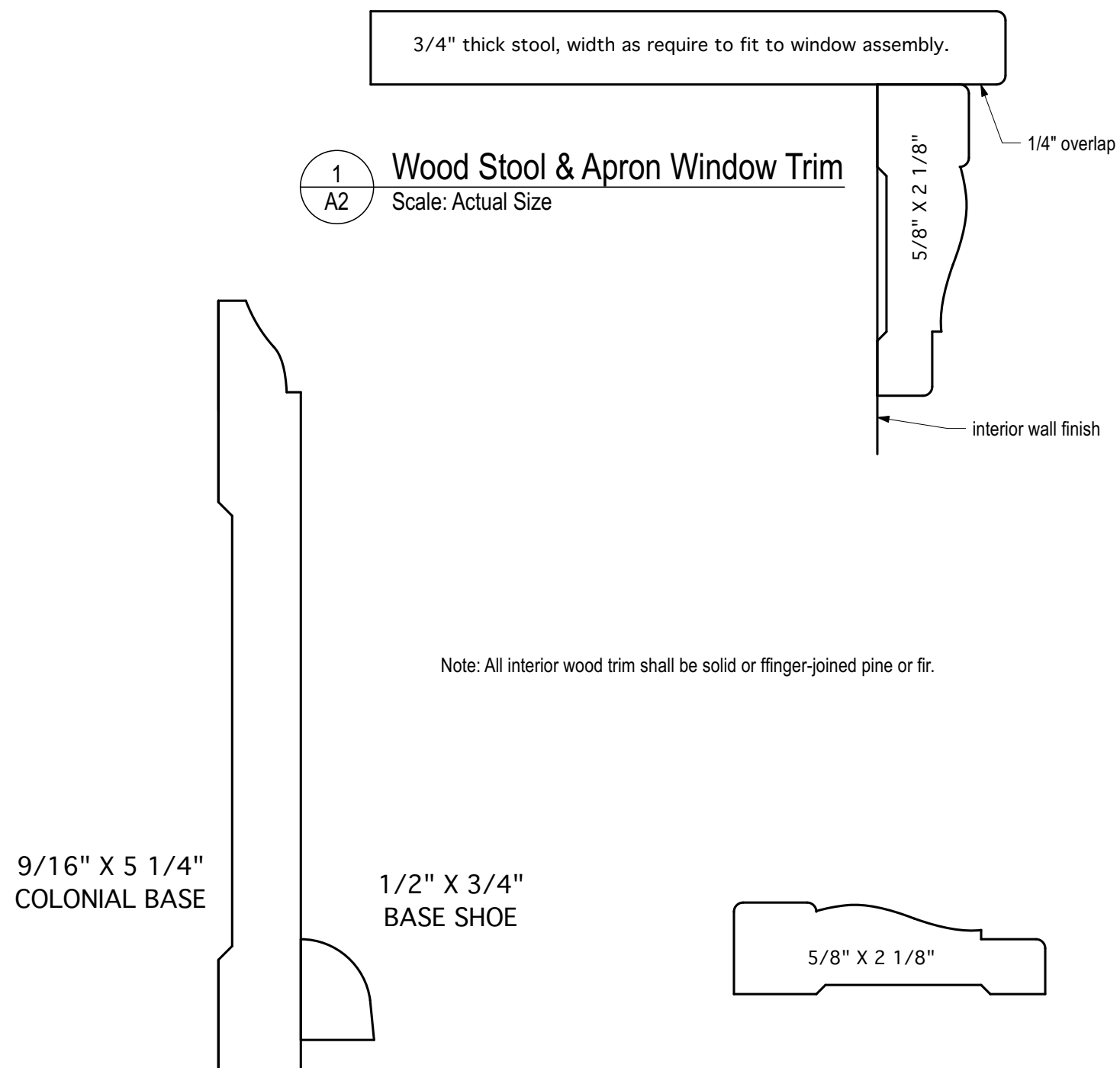
1 Floor Plan & MEP Plan  
A1 Scale: 1/4" = 1'-0"

Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002  
**NEW HOUSE AT 1444 & 1446 MANSFIELD AVE**  
MARRERO, LOUISIANA

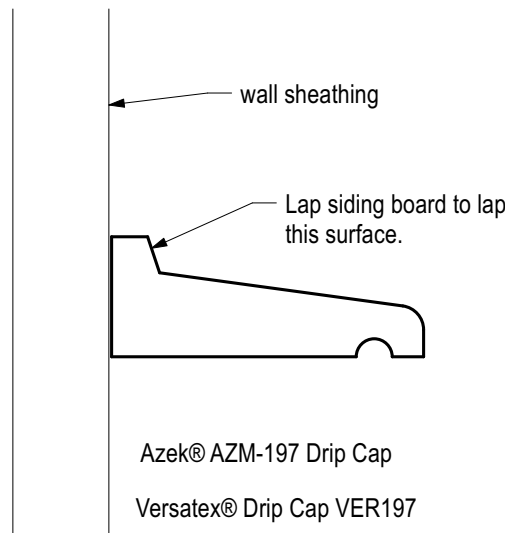
Issue and print dates:  
07/23/2025 - Bidding Documents  
08/06/2025 - Revision 01







2 Wood Wall Base Trim, Type B1  
Scale: Actual Size

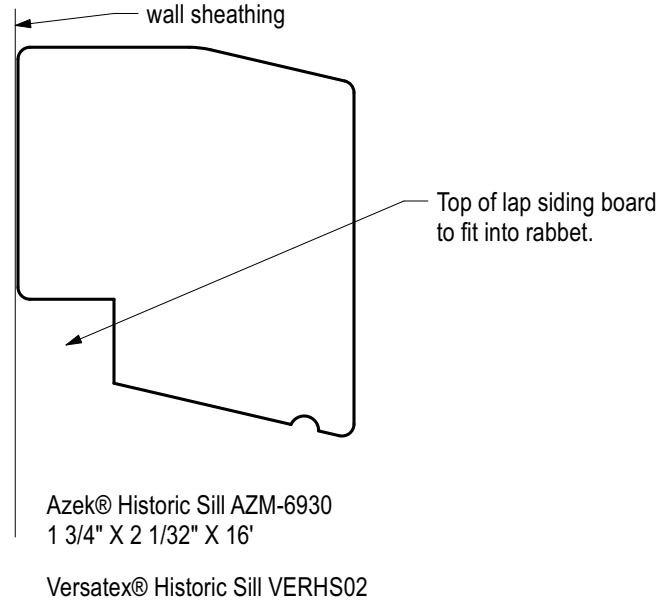


4 PVC Exterior Drip Cap  
Scale: Actual Size



6 Door Type A Elevation  
Scale: not to scale

3 Wood Case Trim, Type C1  
Scale: Actual Size



5 PVC Exterior Window Sill  
Scale: Actual Size

## LIGHTING FIXTURE SYMBOL LEGEND

	wall sconce, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	surface-mounted ceiling light fixture, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	recessed ceiling light fixture w/o housing, UL-rated for wet locations, integral LED, selectable CCT
	surface-mounted ceiling light fixture
	ceiling fan with light kit
	vanity wall sconce, UL-rated for damp locations
	heater-vent-light, UL-rated for wet locations, vent wired to a timer dial switch. Light switched with vanity light fixture. Duct bath fan to exterior.

## MECHANICAL SYMBOLS LEGEND

	HVAC return air grille, 24" X 24" unless noted otherwise – white factory finish on aluminum.
	ceiling-mounted HVAC air supply diffuser with adjustable louvers – white factory finish on aluminum, sized as required.
	vertical air handling unit w/ electric resistance heater, The central HVAC system shall have 14 SEER minimum efficiency. Provide overflow drain pan and drain pipe to exterior.
	HVAC outdoor unit. The central HVAC system shall have 14 SEER minimum efficiency.
	digital programmable thermostat

## DOORBELL BUTTON AND CHIME

At each living unit, provide one hardwired doorbell & chime assembly. The doorbell shall be located at the front door jamb trim. The chime shall be located in the hallway. Confirm exact installation locations with Architect. Doorbell button product: Utilitech model UT-729-00. Chime with transformer product: Utilitech model UT-2796-02.

## ELECTRICAL SYMBOLS LEGEND

	switch
	3-way switch
	ganged switches and wall plate
	duplex outlet receptacle
	quadplex outlet receptacle
	UL-rated waterproof duplex outlet receptacle, recessed in wall
	duplex outlet receptacle with ground fault circuit interrupter
	duplex outlet receptacle with ground fault circuit interrupter located at xx height in inches AFF
	duplex outlet receptacle for a named appliance with ground fault circuit interrupter located at xx height in inches AFF
	new ceiling mounted smoke detector and carbon monoxide detector, hard-wired with battery back-up
	electrical main service panel and electrical meter. Proposed location is shown. Notify Archtitect if other location is deemed by the Electrical contractor or the Electrical utility company to be more advantageous.

## PLUMBING SYMBOLS LEGEND

	drop-in stainless steel single-compartment kitchen sink with single-hole kitchen faucet and drain
	drop-in lavatory sink with single-hole lavatory faucet and push drain
	2-piece elongated toilet with toilet seat, 12" rough-in
	alcove tub w/ tub/shower controls and drain
	alcove shower pan w/ shower controls and drain
	hose bibb with backflow preventer, brass construction
	new electric water heater on drain pan. Water heater: AO Smith 100 series with 6-year warranty. At 2-bedroom units, provide 80 gallon size. At 3-bedroom units, provide 55-gallon size. Drain pan: American Built Pro® WHP22GS-1D. Provide emergency overflow drain pipe to exterior. Verify fit of water heater and drain pan.

## NOTES ON CERAMIC TILE

Basis-of-design product: Manufacturer/Brand: Style Selections (available through Lowe's home improvement stores) collection: Futuro White slip-resistant porcelain tile sizes / formats: 12" X 24" floor tile and 3" X 12" bullnose wall base tile. finish / color: matte / white

Provide submittal documents and samples as per Specification Section 01 33 00.

Provide manufacturer's standard warranty.

Provide thinset mortar/adhesive and grout as per manufacturer's instructions and recommendations.

## NOTES ON SHOWER SURROUNDS

- Shower surrounds shall extend vertically from the top of the tub or shower floor to an elevation 84" minimum above the bathroom finished floor.
- Shower surrounds shall be an alcove configuration. Surround lengths shall correspond to tub or shower pan lengths. Shower surround depths shall exceed tub or shower pan depths by 2" as shown in the Interior Elevations
- Each shower surround shall include at least one soap dish/shelf at a location approved by the Architect.
- Provide silicone sealant all around surround and between surround panels if applicable. Sealant color shall be as approved by Architect.
- Shower surrounds shall be one of two types as indicated below. Color/pattern shall be as approved by Architect.
  - Seamless acrylic: Pemafit™ as manufactured by Bath Fitter®, www.experiencebathfitter.com.
  - Cultured marble panels with subway tile pattern as manufactured by Plantation Marble, 5791 River Road, New Orleans LA 70123, www.plantationmarblenola.com.
- Fit shower surround assembly to other new construction, including plumbing items and walls.
- The terms "shower surround", "tub surround", and "bathtub surround" are interchangeable in the Contract Documents.
- At each shower surround, provide one commercial-grade stainless steel shower curtain bar: Moen Donner Commercial Collection model CS136-5-SS.

## KEY NOTES

(especially keynotes relevant to Floor Plan)

K01a: Fire-rated demising wall with acoustic insulation: UL Design U340, Gypsum Association File No. WP 3371. See Details. Provide firestopping as required for 1-hour fire separation at all penetrations; all such firestopping shall be certified for use in a 1-hour rated partition by the Contractor's firestopping materials/assemblies manufacturer; Hilti or equal. Acoustic insulation shall be sound attenuation fire blanket as per Spec Sec 07 21 16. See Drawing 2/A5.

K01b: Intersection of typical interior wall with fire-rated demising wall. Gypsum board shall be continuous at demising wall. Install framing of typical interior wall over gypsum board of demising wall.

K02a: Provide 2X2 furring on wall studs; total thickness of wall framing shall be 6". If furring is at demising wall, install furring members over gypsum board of demising wall.

K02b: Furr out wall as required for construction materials/assemblies to fit as shown. If furring is at demising wall, install furring members over gypsum board of demising wall.

K02c: Provide 2X4 furring on wall studs. If furring is at demising wall, install furring members over gypsum board of demising wall.

K03: Concrete landing and stair and handrails. See other drawings, including Structural.

K04: Sound blocking wall assembly: 2X6 plates, 2X4 staggered studs @ 12" OC (at 24" OC on each side of wall). Provide acoustic insulation; acoustic insulatin shall be sound attenuation fire blanket as per Spec Sec 07 21 16.

K05a: Vinyl-coated wire shelving in bedroom closet or coat closet. Rubbermaid® Expandable Closet Kit, 2-4-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05b: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 3-6-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05c: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 4-8-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05d: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 6-10-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06a: Vinyl-coated wire shelving in pantry, closet, or storage room. 4 shelves, 12" deep. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06b: Vinyl-coated wire shelving above washer and dryer. 1 shelf, 12" deep. Length to fit space as shown.

K07a: Countertop at vanity. Provide cut-out(s) as required for plumbing item(s).

K07b: Kitchen countertop. Provide cut-out(s) as required for plumbing item(s).

K08a: HVAC exterior equipment on concrete platform. Provide feet or pad as required to comply with Jefferson Parish flood elevation requirements.

K08b: HVAC interior equipment on plywood platform. Top of platform shall be 36" above concrete slab. Platform floor assembly shall be 4" t hick, 1/2" plywood on 2X4 framing.

K08c: Return air grille, located above wall base trim and below HVAC equipment platform assembly.

K09: Attic access hatch, insulated and lockable. Provide framed opening as per manufacturer's instructions and recommendations. Provide keys to Owner. The Williams Brothers Corporation of America model WVB AL 1500 20X20.

K10a: Towel bar assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall. Bar length as indicated on drawings.

K10b: Towel ring assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10c: Toilet paper holder assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10d: Robe hook assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10e: Mirror: Bobrick B-165 1830 with polished stainless steel frame. Center over lavatory and faucet.

K11: Fire extinguisher in under-sink cabinet. First Alert Home1-A-10-B-C rechargeable fire extinguisher.

K12: Marble threshold.

K13: Electric water heater on drain pan. See Specification Section 11 30 13 – Residential Appliances.

K14: Wall corner guard, 16 gauge Type 304 stainless steel with brushed finish, 48" high x 1 1/2" x 1 1/2". Bottom of guard shall be 8" above the finished floor.

K15: Shower surround assembly at 3 sides of bathtub. See NOTES ON SHOWER SURROUNDS, this sheet. See Interior Elevations, Sheet A7.

K16-K19: not used

## KEY NOTES

(especially keynotes relevant to Roof Plan)

K20: Roof diverter, 4' long, centered over door, galvanized steel or aluminum with dark bronze factory finish. Install in compliance with Fortified™ roof requirements.

K21: Drip edge flashing all around roof perimeter, aluminum with white factory finish.

K22: Asphalt shingle roofing as part of a Fortified™ roof assembly.

K23: Louver vent at roof. 60 square inches of net free vent area each. GAF Master Flow Roof Louver SSB960AWF Metal Super Slant Back. Space louver vents at 8'-0" OC. Locate all louver vents 36" clear of ridge/line, measured horizontally (40 1/4" clear of ridge/line, measured along roof slope). Louver vent shall be compliant with Fortified™ roof requirements and shall be certified by the manufacturer to have passed the TAS 100 Standard Test for Wind and Wind Driven Rain Resistance of Discontinuous Roof Systems. Provide documentation of certification.

K24: Exterior face of house perimeter walls below.

K25-K29: not used

## KEY NOTES

(especially keynotes relevant to Exterior Elevations)

K30a: PVC drip cap. See full-scale detail drawings. Note that all drip caps are at the same elevation; install window heads at the correct elevation relative to exterior door heads in order to accomplish this alignment.

K30b: PVC sill. See full-scale detail drawings.

K31a: 5/4 X 4 HardiTrim fiber cement corner board, 3 1/2" face.

K31b: 5/4 X 4 HardiTrim fiber cement corner board, 1" edge.

K31c: 5/4X4 HardiTrim fiber cement case trim. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing. Note that top of 5/4 X 10 door case head trim aligns with top of 5/4 X 4 head case trims of windows. See Key note 30a regarding window unit head heights relative to exterior door head heights.

K31d: 5/4X10 HardiTrim fiber cement case trim at door head. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing.

K31e: 1X HardiTrim fascia at roof eave.

K32: Mailbox: Reliablitt metal standard mailbox, black, wall mounted, model #07-3068.

K33: Address numerals. Product option 1: Taymor Industries, Inc. 25-ANB6 Classic Aluminum House Numbers, 6 inches high, matte black. Product option 2: Reliablitt 6-in Black Numbers, model 33620PKBLG. Center numerals group on vertical centerline of door. Center numerals on horizontal centerline of door head trim board. Numerals shall correctly identify the municipal address of each living unit.

END OF "K" SERIES KEY NOTES

## SCHEDULE OF INTERIOR FINISHES

Room/Space Type	Typical Floor Finish	Typical Wall and Ceiling Finish	Typical Wall Base Trim	Typical Door Case Trim	Typical Window Trim
Living Room	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Kitchen	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bedroom	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Laundry*/Equipment/Utility	Vinyl Plank Flooring	Gypsum Board, moisture-resistant	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bathroom / Powder Room	Ceramic Tile	Gypsum Board, moisture-resistant	Ceramic Tile	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Miscellaneous closets	Match finishes of the room from which the closet is accessible.				

\*including Laundry closets and alcoves in addition to Laundry rooms

Note: Provide fire-rated gypsum board and other non-typical finishes wherever indicated in the drawings. Gypsum board shall be the moisture-resistant type at all wet walls, including Laundry and Kitchen wet walls.

Volume Zero

architectural design studio

1034 Joliet Street  
New Orleans, La 70118  
504- 864-9909 phone  
504- 864-9983 fax

a limited liability company

Jefferson Parish Housing Services Design District (JPHSDD)

ITB number 25-002

NEW HOUSE AT 1444 & 1446 MANSFIELD AVE  
MARRERO, LOUISIANA

Issue and print dates:

07/23/2025 - Bidding Documents  
08/06/2025 - Revision 01



Vol. 0 Project No. 25-006

drawn by MC

sheet no.

A2



LIGHT FIXTURE SCHEDULE					
MARK	FIXTURE DESCRIPTION	FIXTURE MODEL NO.	LAMP DESCRIPTION	LAMP MODEL NO.	REMARKS
L-1	exterior wall/pendant surface-mounted LED fixture, dusk-to-dawn photocell, 3 CCT selectable, die-cast aluminum body and cage, frosted glare-free polycarbonate lens, powder-coated BRONZE finish, UL-listed wet locations, Energy Star rated, non-dimming, 120V	PROBRITE® AXIS: AXS12-3CCT-PC-BZ	12W LED (75W equiv), 1000 lumens, >80CRI, 50K hours	integrated LED, lamp included	Set CCT to WARM (3000K), install using dusk-to-dawn setting
L-2	42" flush-mount ceiling fan with light kit, reversible 3-speed motor, reversible airflow, 3-arm light w/ dimmable LED lamps included, pull-chain control, matte black housing, 5 matteblack/dark chocolate reversible easy-to-attach blades, 2857 CFM airflow, 15.22" h	Harbor Breeze® Coachman 42": 43305	(Qty of 3 lamps) Each lamp 5.5W LED A15, E26 base, 550 lumens, dimmable, included	replaceable LED, lamps included	install blades with dark chocolate side visible
L-3	exterior surface-mounted ceiling light 4.25" w X 8" h, E26 medium base lamp, incandescent 60W, aluminum body w/ black finish, opal glass shade, UL-rated wet locations	SATCO®   NUVO® : SF77-154	E26 base, 9W A19 LED (60W equiv replacement), 120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-4	exterior surface-mounted ceiling light 13" dia X 5" h, integral 23W LED, 3000K, aluminum body w/ black finish, frosted glass shade	Globe Electric® Mark®: 44658	23W integrated LED, 120V, 3000K, 2000 lumens, 80CRI, 30K hours, dimmable	integrated LED, lamp included	
L-5	wall-mounted vanity light, 2-lamp, matte black finish, UL-listed for damp location + glass shades (2 1/4" fitter) + (2) 60W A19 E26 lamps	Style Selections Mix and Match: VBK120-2CH + N284M (shades, 2 needed)	E26 base, 9W A19 LED (60W equiv replacement), 120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-6	heater-vent-light, white, 80 CFM, 1.2 sones, 1300W heating element, LED light, 4" duct	Utilitech®: 7123-02-L	LED included		
L-7	4" Dia. exterior recessed light fixture w/ direct mount LED module w/ remote driver, IC and non-IC suitable, integral LED light, selectable CCT: 2700K, 90 CRI, UL-listed for wet locations, white baffle, 1200 lumens, 90 CRI, dimmable	HALO®: LCR4129FSED010MW	14.3W integral LED		

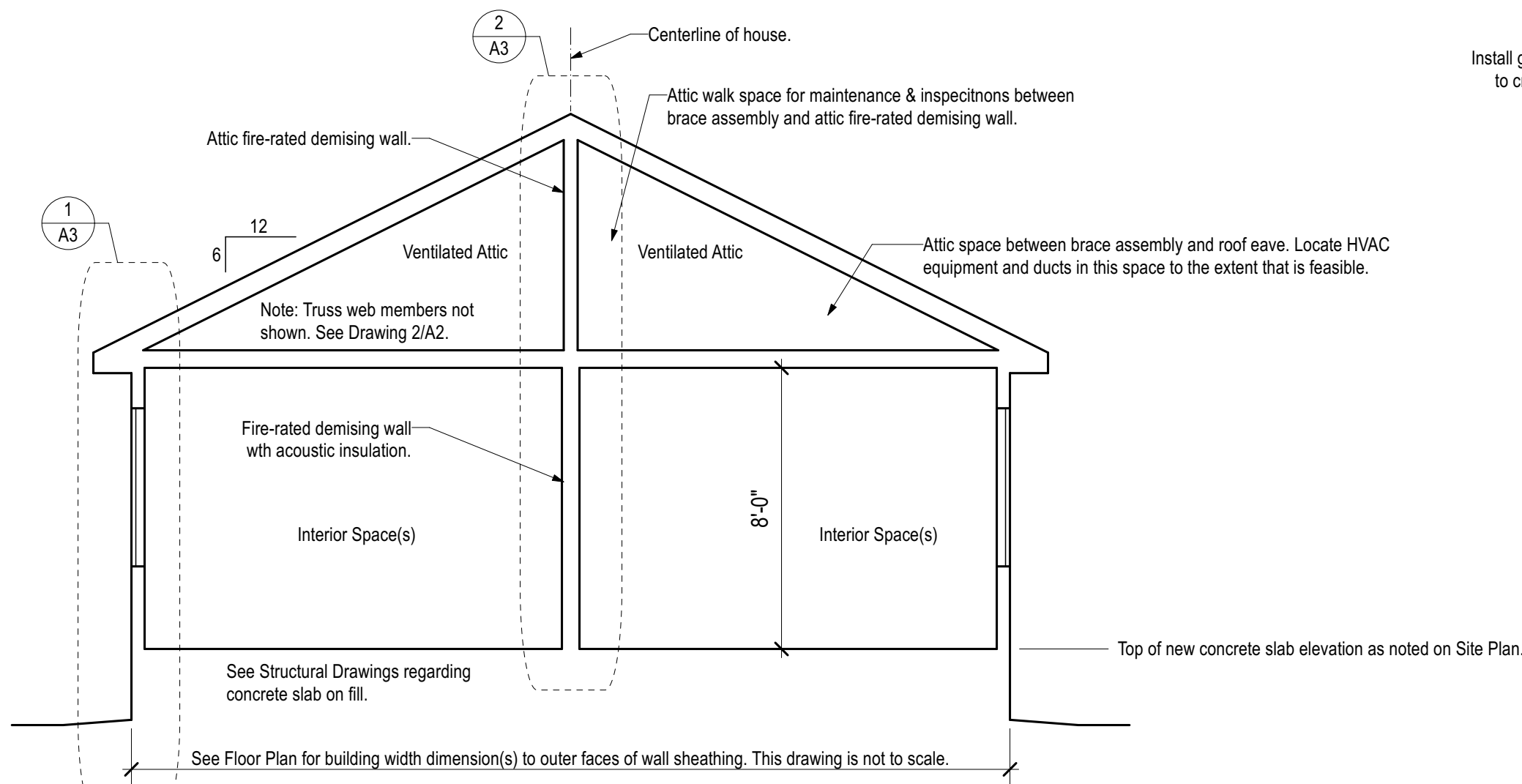
APPLIANCE SCHEDULE			
MARK	DESCRIPTION	MODEL NO.	REMARKS
A-1	Top freezer refrigerator 18.3 cu ft, nominal 28" w X 30.8" h X 30.8" d, white, ADA-compliant, wire shelves, LED light	Frigidaire® FFTR1814WW	ALTERNATE: Frigidaire® FFHT1822, 17.6 cu ft, stainless steel, Energy star
A-2	24" dishwasher, front control, stainless steel w/ black, Energy Star rated, 59 DB, 3 cycles, 4 wash levels	Amana® ADFS2524RZ	install with braided stainless steel hose (not included)
A-3	30" freestanding electric range, glass top, stainless steel w/ black, Energy Star rated,	Whirlpool® WFES3030RS	
A-4	36" vent hood, ducted, stainless steel w/ black, ADA-compliant, 160-190 CFM, 6.5 sones, E26 base incandescent light	Broan® F403604	duct ports fit 3 1/4" X 10" or 7" round, Contractor shall provide all required accessories for proper function, including but not limited to duct, duct vent outlet cover, and light bulb.
A-5	stackable washer, Energy Star rated, ADA-compliant, white	Samsung® WF45T6000AW	
A-6	stackable electric dryer, Energy Star rated, ADA-compliant, white	Samsung® DVE45T6000W	Contractor shall provide all required accessories for proper function, including but not limited to duct and duct vent outlet cover

PLUMBING FIXTURE SCHEDULE				
MARK	DESCRIPTION	MODEL NO.	COLOR/FINISH	REMARKS
P-1	Kitchen sink: drop-in 33X22, single compartment, 16 ga. stainless steel, pre-drilled for single-hole, satin finish, drain located @ center rear, drain/strainer basket included	Miseno® MNO3322SRTM	stainless steel satin finish	--
	Kitchen faucet: high arc, single hole, single handle, do NOT install side sprayer, ADA-compliant	Delta® Precept® P199152LF	polished chrome	01 Side sprayer may be included in kit, BUT do NOT install sprayer. Transmit side sprayer to Owner.
P-2	Lavatory sink: drop-in vitreous china sink w/ overflow drain, oval shape, pre-drilled for one hole, 20.25" X 17.5" w X 8.5" d	Kohler® Pennington® K-2196-1-0	white	
	Lavatory faucet: single-hole, single handle faucet w/ pop-up drain, ADA-compliant	Delta® Modern Project Pack® 534LF-PP	polished chrome	
P-3	Toilet with toilet seat: 2-piece, elongated bowl, 1.28 gpf, 12" rough-in	Project Source® ProFlush® MT-802PRO	white	
P-4	Shower assembly (with shower base size variation):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, no stops	Delta® Universal Mixing Rough-in® R10000-UNBX	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	shower drain: 2" compression fit drain, brass body	WESTBRASS® D206B-26	polished chrome	
	P-4a alcove shower base 32" X 48" X 2.75" with center drain, single threshold	DreamLine® SlimLine® DLT1132480	white	01 Select from these two shower pan options to fit as shown in Floor Plan.
	P-4b alcove shower base 36" X 48" X 2.5" with center drain, single threshold			
P-5	Tub/Shower assembly (with tub size and drain location variations):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, with stops	Delta® MultiChoice Universal Mixing Rough-in® R10000-UNWS	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	tub spout with integral diverter, wall-mounted	Delta® RP19895	polished chrome	
	tub drain, brass pipe	Keeney® 595R8	polished chrome	
	P-5a-R 30x60 alcove tub, right-hand drain, porcelain enameled steel	American Standard® Princeton® 1391202.020, right hand drain	white	
	P-5a-L 30X60 alcove tub left-hand drain, porcelain enameled steel	American Standard® Princeton® 1390202.020, left hand drain	white	01 Select from these four bath tub options to fit as shown in Floor Plan.
	P-5b-R 30x54 alcove tub, right-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3302-00, right hand drain	white	
	P-5b-L 30X54 alcove tub left-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3303-00, left hand drain	white	

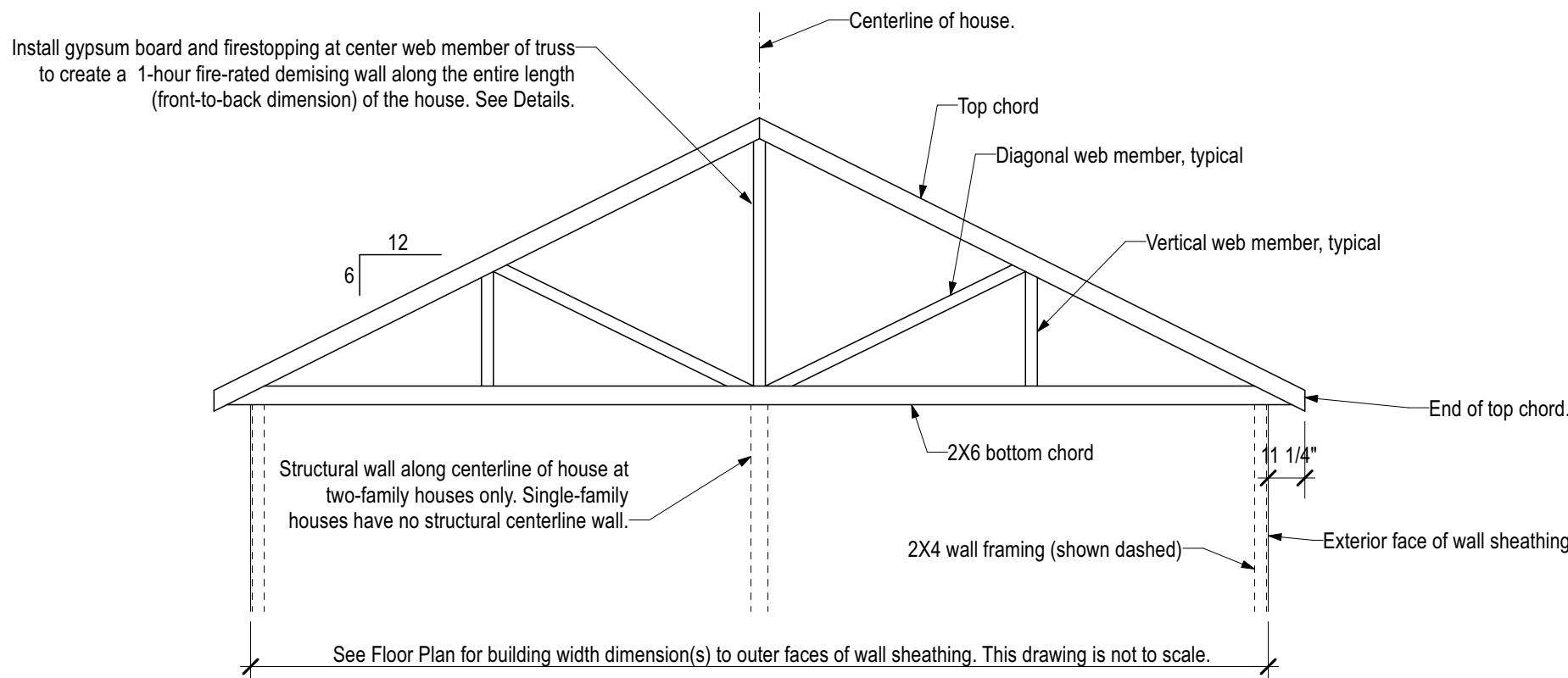
EXTERIOR OPENINGS SCHEDULE						
MARK	UNIT SIZE	DESCRIPTION	MANUFACTURER AND SERIES	MODEL NO.	HARDWARE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	4-paneled steel entry door with glass top panel: impact-resistant, insulated, Energy Star compliant, paintable factory finish, w/ 20-year standard manufacturer's warranty.	Masonite®, (See Sheet A2 for Elevation)	--	entry hardware set, Grade 1: Schlage® Century® Single Cylinder Door Handleset with Latitude® Handle F60 G CEN 622 LAT, matte black	Provide peep hole @ 60" AFF, centered on door width. See Ext. Elevations re: alignment of window and door head trims.
B	2'-4" X 1'-6"	Vinyl, fixed, impact-resistant, transom window, insulated glass, single-lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVTSM2818	NA	See Ext. Elevations re: alignment of window and door head trim.
C	3'-0" X 5'-0"	Vinyl, single-hung, impact-resistant window, insulated glass, 1 over 1 lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVSH3660	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.
D	3'-4" X 5'-0"	Vinyl, single-hung, impact-resistant window with emergency escape and rescue opening, insulated glass, 1 over 1 lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVSH4060	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.

INTERIOR OPENINGS SCHEUDLE			
MARK	UNIT SIZE	DESCRIPTION	REMARKS
1	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
1a	same as Mark 1	Same as Mark 1	
2	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
3	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
4	1'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
5	2(1'-6" X 6'-8" X 1 3/8")	Pair of solid core flush birch veneer doors, swinging. Total width of two door panels: 36".	
6	4(1'-0" X 6'-8" X 1 3/8")	Pair of flush birch veneer bi-fold doors. Total width of four door panels: 48".	
7	2'-0" X 3'-8" X 1 3/8"	Solid core, birch veneer door, cut door height to fit above AHU platform, door head at 6'-8" AFF, keyed hardware	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors. Match head height to other interior doors.
8	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
9	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
10	2'-8" X 6'-8"	cased opening	



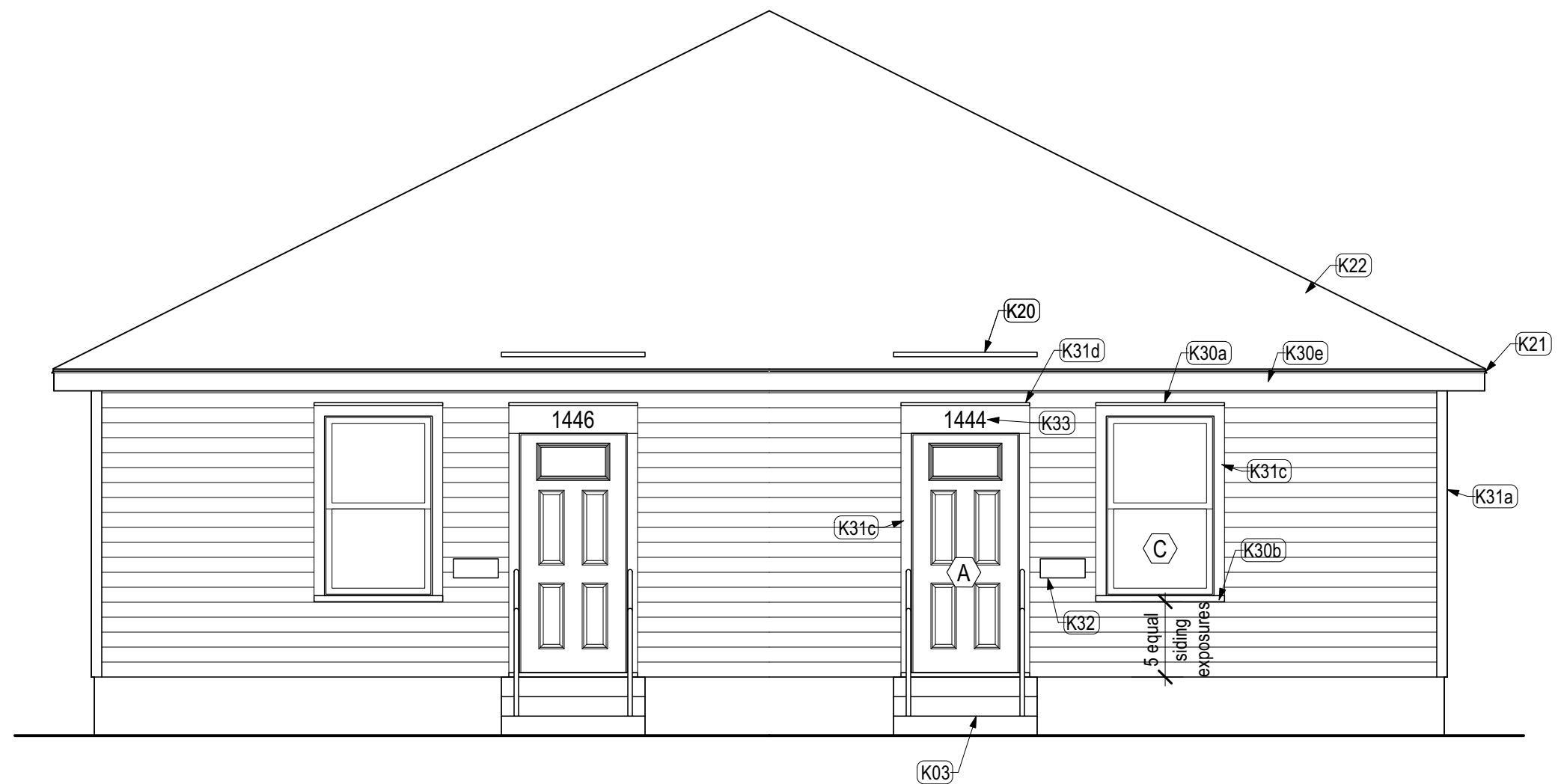


1 Building Section  
Scale: 1/4" = 1'-0"

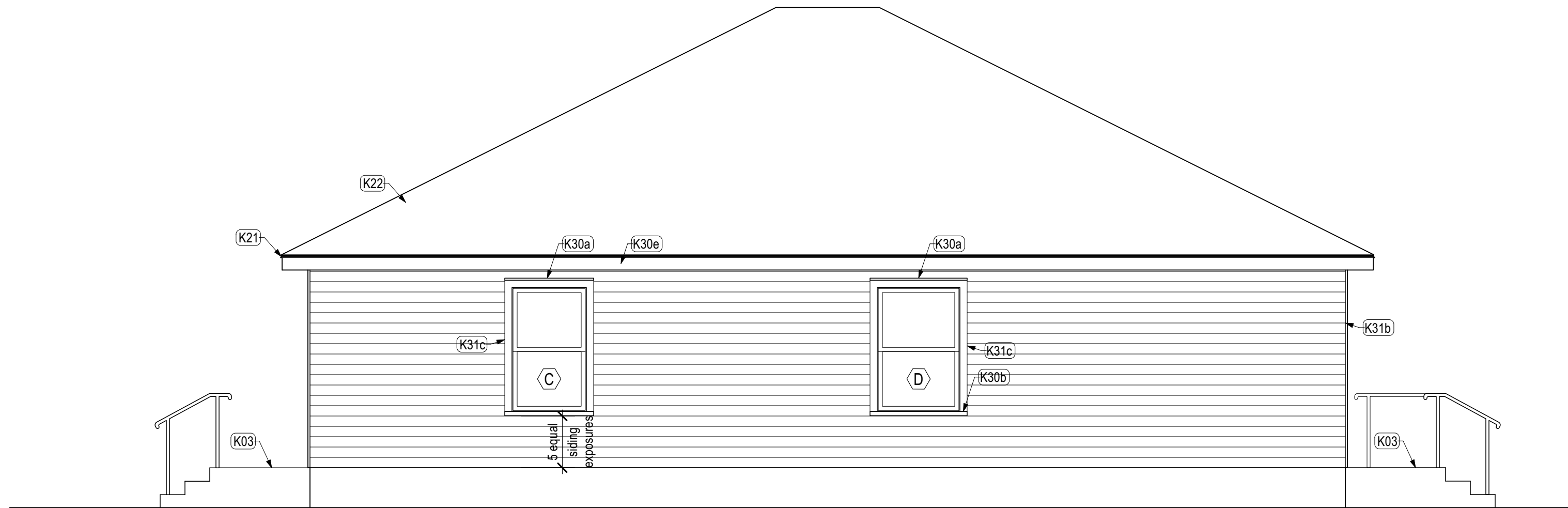


- Notes:
1. Typical truss configuration shall be Howe (shown) or Double Howe (not shown) unless otherwise approved by Architect.
  2. Provide shop drawings stamped by a Louisiana-licensed structural or civil engineer. These drawings shall include design of bracing and truss-to-wall connections.
  3. The roof structure shall comply with Fortified™ roof requirements.
  4. Provide all required truss bracing and connections as per the truss shop drawings.
  5. Top chord and bottom chord members shall be 2X6.
  6. Web members shall be 2X4 minimum.
  7. Truss spacing shall be 24" on-center.
  8. See Roof Plan. Trusses shall conform to roof designs including hips and valleys, if applicable.

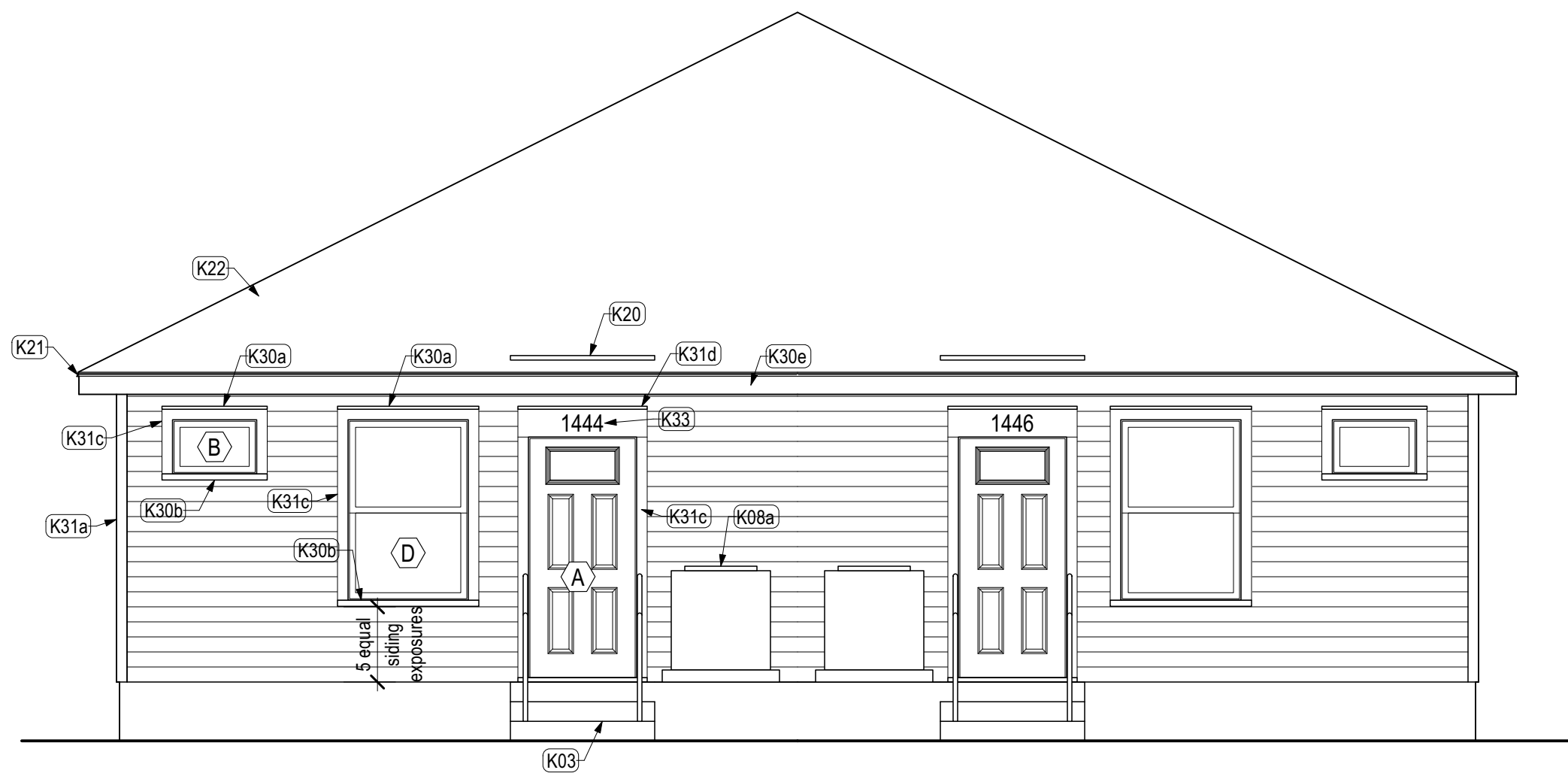
2 Typical Pre-Engineered Roof Truss  
Scale: 1/4" = 1'-0"



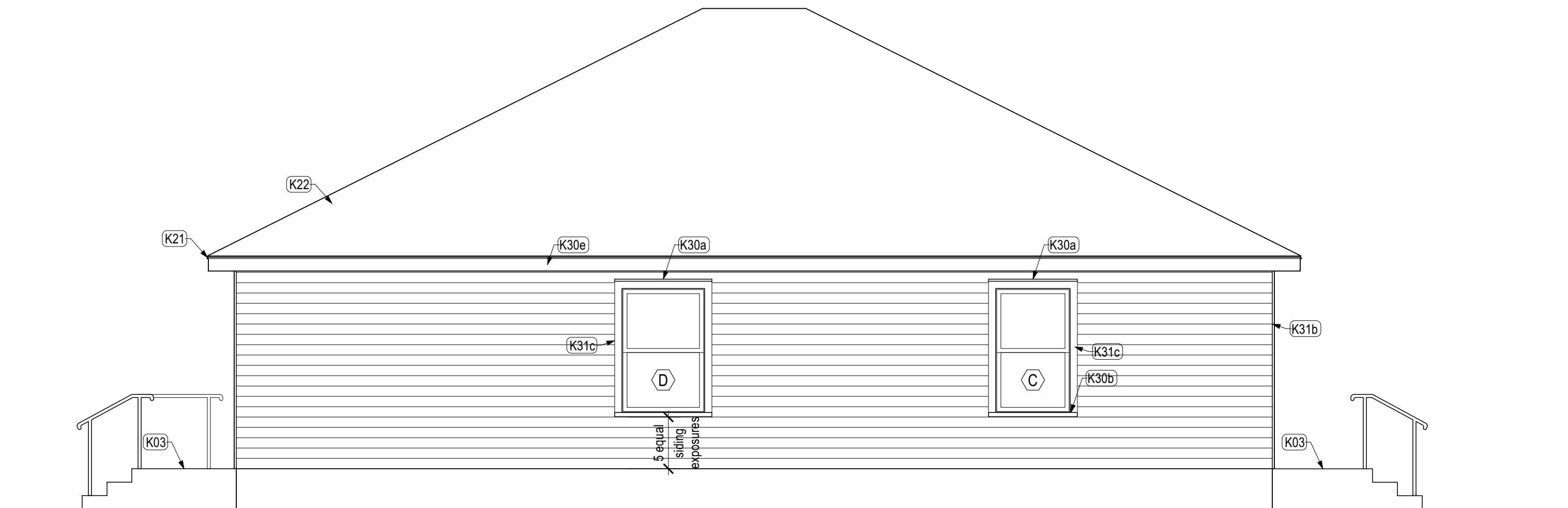
3 Front Elevation  
Scale: 1/4" = 1'-0"



4 Right Side Elevation  
Scale: 1/4" = 1'-0"

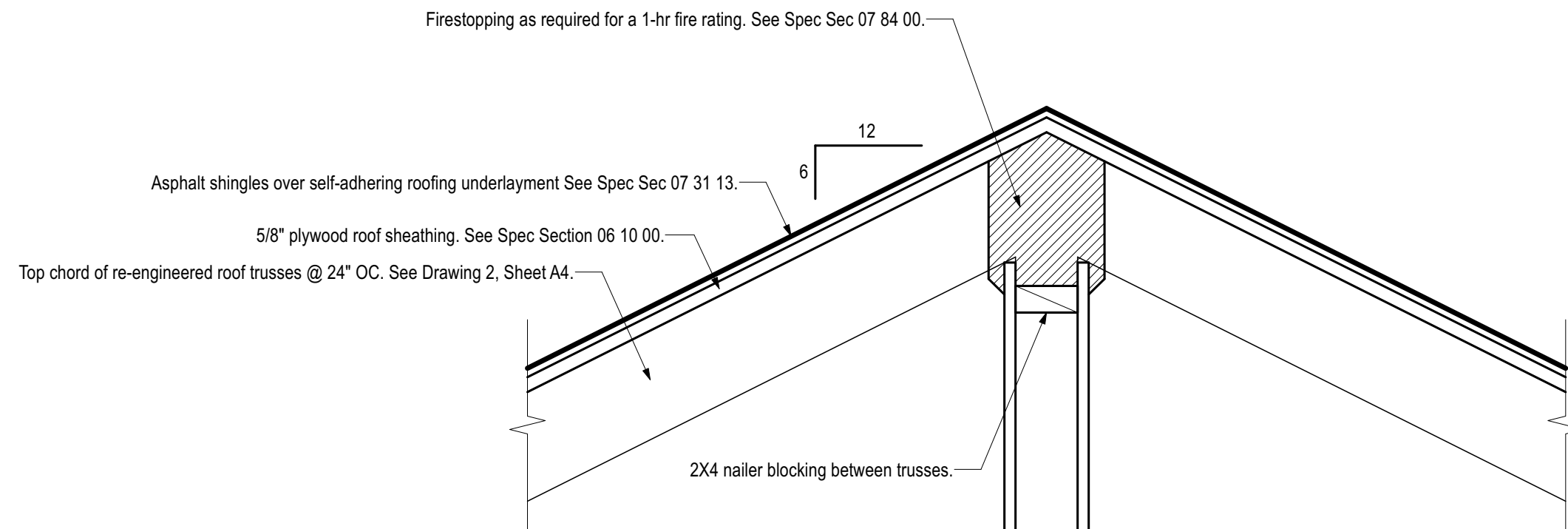


5 Rear Elevation  
Scale: 1/4" = 1'-0"

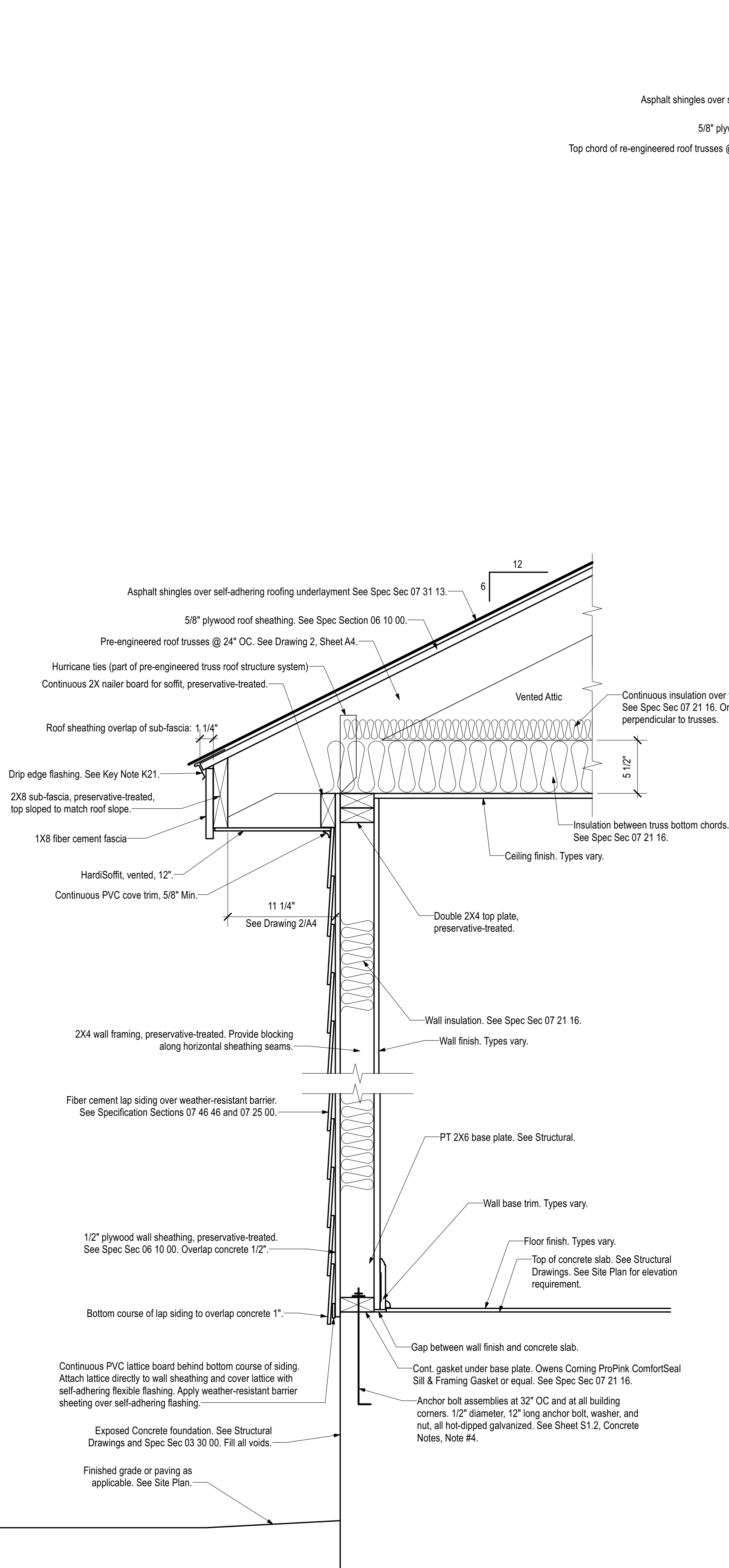


6 Left Side Elevation  
Scale: 1/4" = 1'-0"

01

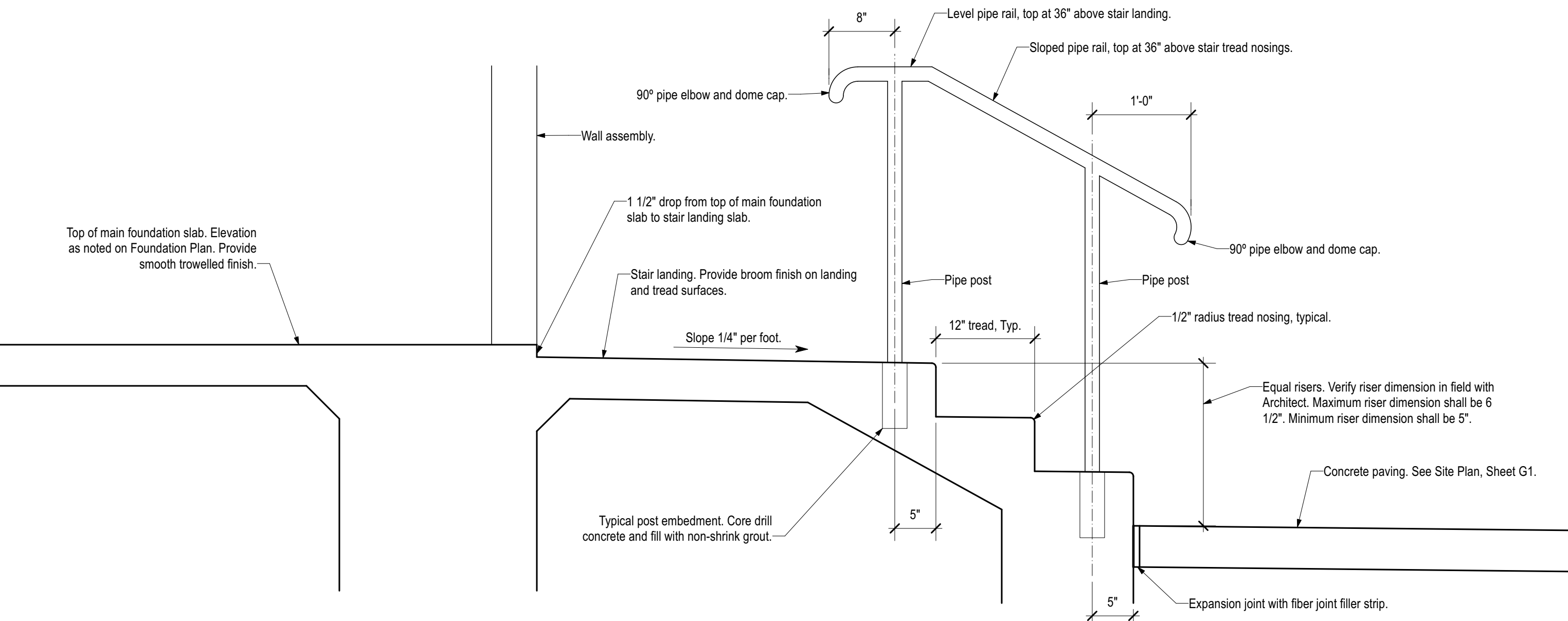


1  
A5  
Typical Exterior Wall Section Detail  
Scale: 1 1/2" = 1'-0"



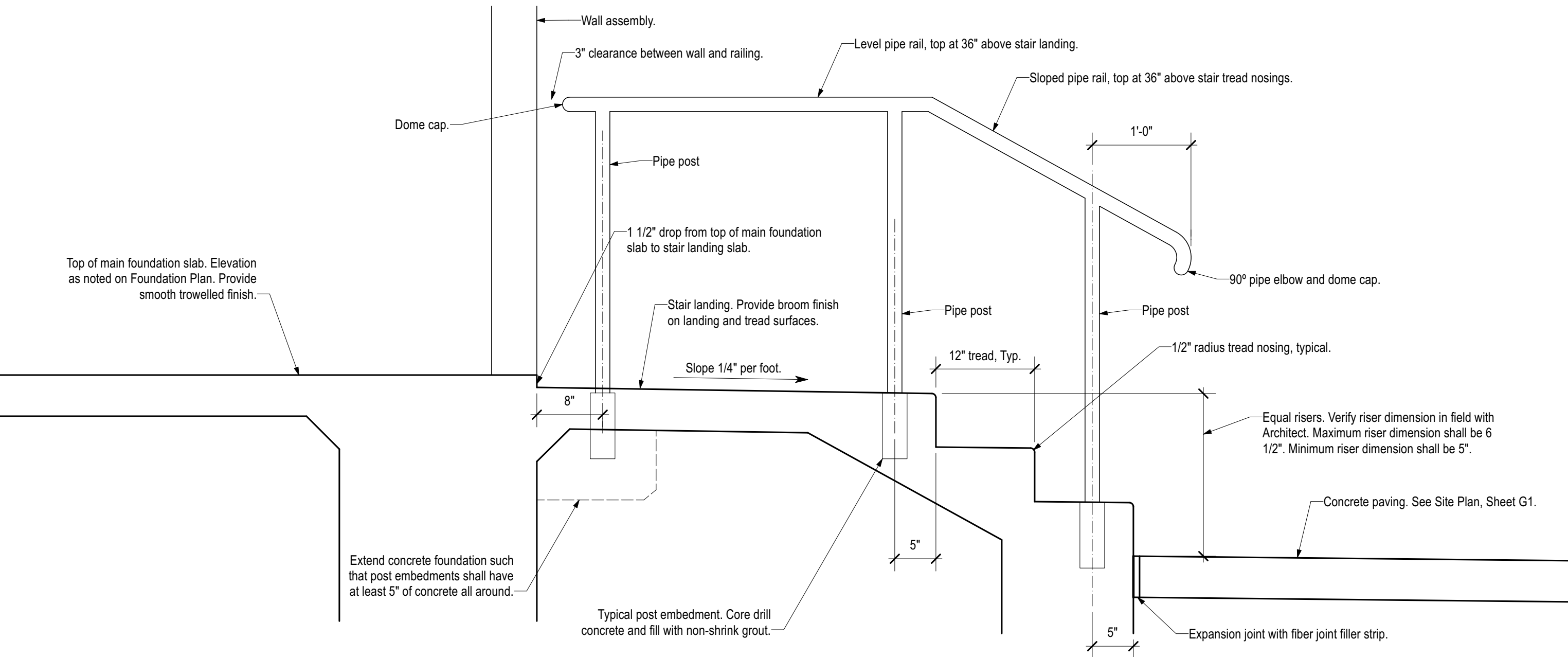
2  
A5  
Typical Demising Wall Section Detail  
Scale: 1 1/2" = 1'-0"





Note: See Spec Sec 05 52 13 regarding railing assemblies.

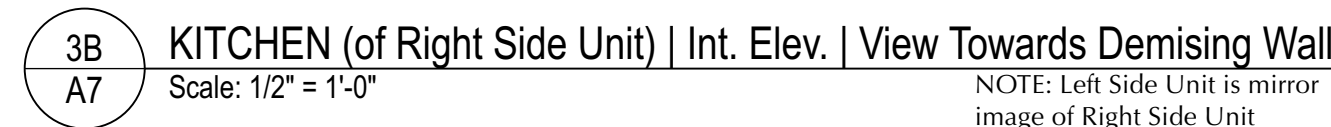
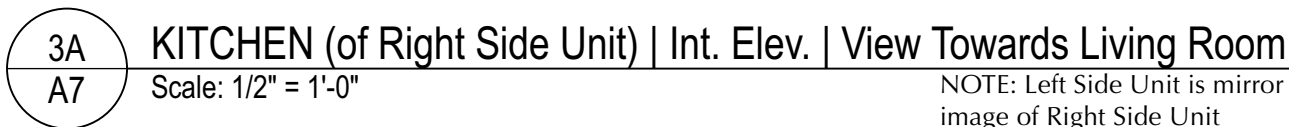
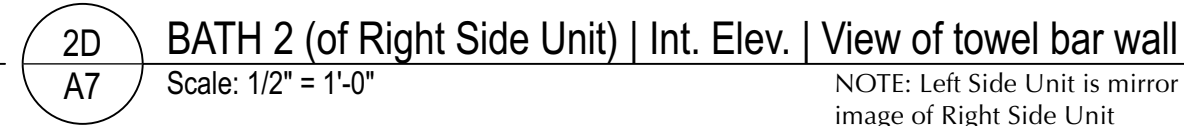
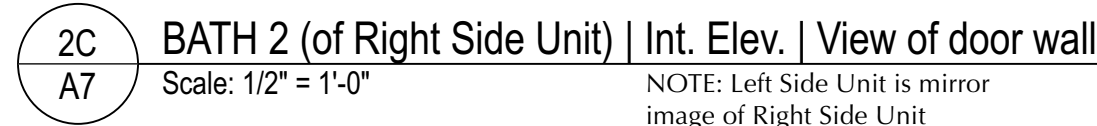
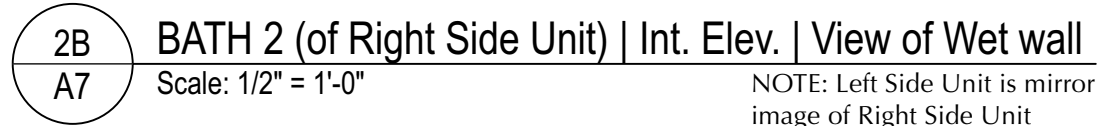
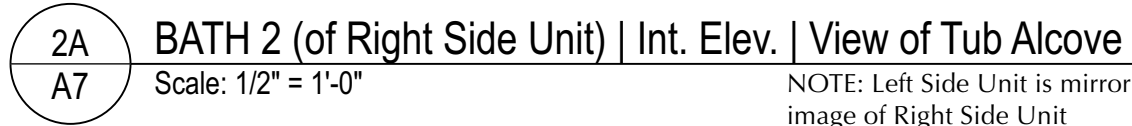
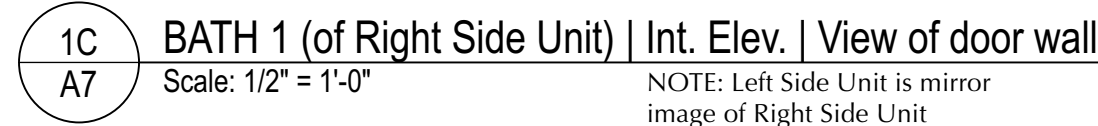
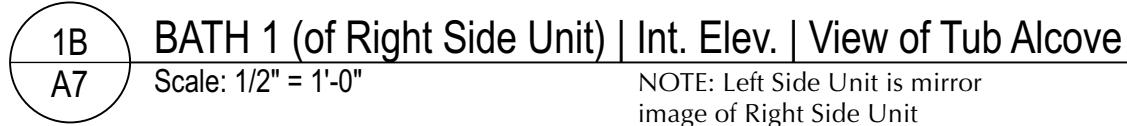
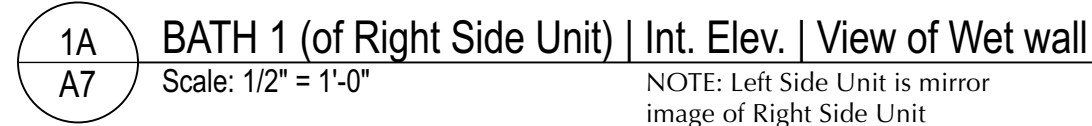
**1**  
A6 Stair & Landing Detail with Typical Rail Assembly  
Scale: 1" = 1'-0"



Note: See Spec Sec 05 52 13 regarding railing assemblies.

**2**  
A6 Stair & Landing Detail with Extended Rail Assembly  
Scale: 1" = 1'-0"

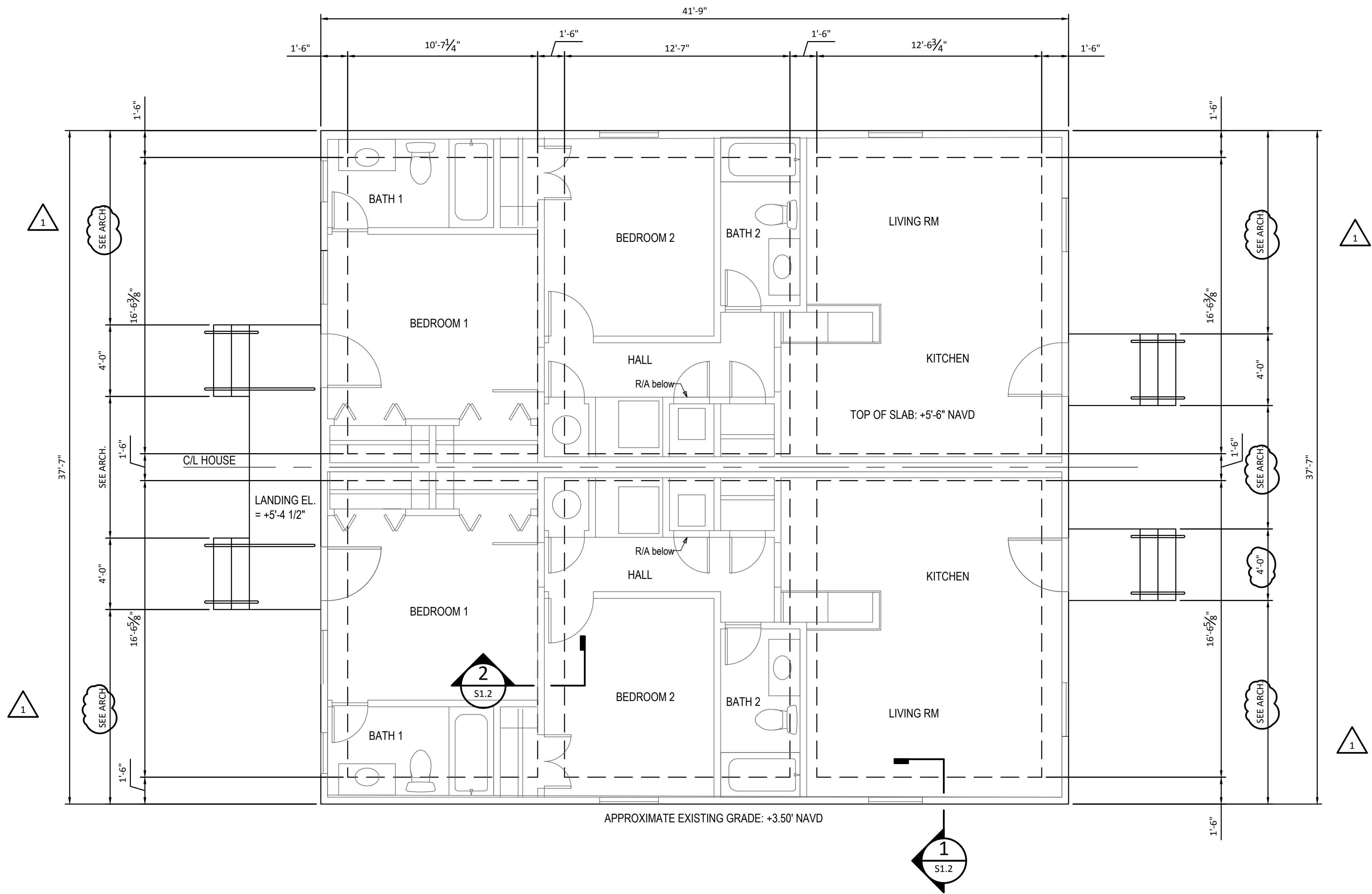




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Volume Zero  
architectural design studio  
Vol.  
1034 Joliet Street  
New Orleans, La 70118  
504- 864-9909 phone  
504- 864-9983 fax  
a limited liability company  
Michael Cajski & Van Tran,  
Architects

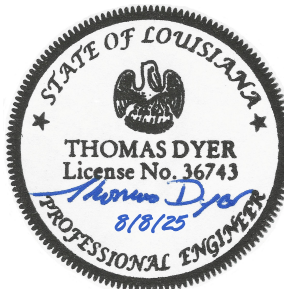


1444 & 1446 MANSFIELD AVENUE  
FOUNDATION PLAN  
1/4" = 1'-0"

Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002  
1444 & 1446 MANSFIELD AVENUE  
MARRERO, LOUISIANA

FOUNDATION PLAN

issue and print dates:  
07/23/2025 - Bidding Documents  
08/02/2025 - Revision 01



Vol. 0 Project No. 25-006  
drawn by APV  
sheet no.

S1.1



**GENERAL NOTES:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF:  
AMERICAN CONCRETE INSTITUTE (ACI) LATEST EDITION  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) LATEST EDITION  
AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS (ASCE) LATEST EDITION  
AMERICAN FOREST AND PAPER ASSOCIATION NDS LATEST EDITION
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES AND OVERHEAD POWER LINES IN THE AREA OF THE WORK AND NOTIFY THE OWNER OF ANY INTERFERENCES BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND ELEVATIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (+/-) ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS IN THE FIELD.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (N.T.S) ARE NOT SHOWN TO SCALE
- THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED UNTIL CONSTRUCTION IS COMPLETE.

**DESIGN LOAD CRITERIA:**

CONCRETE, STRUCTURAL STEEL MEMBERS AND CONNECTIONS ARE DESIGNED PER IBC 2021 AND ASCE 7-22 BY ALLOWABLE STRESS DESIGN AND LRFD

LIVE LOADS:

1ST FLOOR = 40 psf  
ROOF = 20LBS/SQFT

WIND LOAD DATA:

PER ASCE 7-22 3-SEC PEAK GUST MPH  
ENVELOPE  
OPEN  
RISK CATEGORY II  
WIND SPEED = 139 MPH  
WIND EXPOSURE B  
INTERNAL PRESSURE COEFFICIENT +/- 0.55  
COMPONENTS AND CLADDING:  
ROOF = + ZONE 1 = +18.66/-29.64  
= + ZONE 2 = +18.66/-60.37  
= + ZONE 3 = +18.66/-66.98  
= + ZONE 2 + 3 WIDTH = 5 FT

SEISMIC LOAD DATA:

SITE CLASS D  
SMS = 0.15  
SM1 = 0.13  
SDS = 0.097  
SD1 = 0.085

**CONCRETE NOTES:**

- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
  - ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
  - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
  - ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- CONCRETE ADMIXTURES SHALL NOT BE USED WITHOUT OWNER PRIOR APPROVAL.
- PROVIDE ANCHOR/RODS BOLTS CONFORMING TO ASTM F1554 GRADE 36, HEAVY HEXAGON NUTS CONFORMING TO ASTM A563 AND WASHERS CONFORMING TO F436. GALVANIZE BOLTS, NUTS, SLEEVES AND WASHERS IN ACCORDANCE ASTM A153. REINFORCING BARS SHALL CONFORM TO ASTM A615 REQUIREMENTS FOR GRADE 60 DEFORMED BARS. DETAILING & FABRICATION SHALL BE IN ACCORDANCE WITH ACI 315.
- THE CONTRACTOR SHALL POUR (4) CONCRETE TEST CYLINDERS, PER 50 CY IN ACCORDANCE WITH ASTM C31 AND TEST THE CYLINDERS IN ACCORDANCE WITH ASTM C39. PROVIDE THE TEST RESULTS TO THE ARCHITECT. SEE SPEC. SEC. 01 45 23 - TESTING LABORATORY SERVICES.
- STRUCTURAL COLUMN BASE PLATES SHALL BE GROUTED USING NON SHRINK CEMENT GROUT BY FIVE STAR PRODUCTS INC. OR APPROVED EQUAL.
- CONCRETE SHALL BE CURED IN ACCORDANCE WITH ACI 318 AND 308R.
- ALL SPLICES AND DEVELOPMENT LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, SECTION 12, "BUILDING CODE REQUIRED FOR STRUCTURAL CONCRETE" ALL SPLICES SHALL BE CLASS "B", UNLESS APPROVED OTHERWISE.

**EARTHWORK NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE IN PERFORMING ALL EARTH WORK IN ACCORDANCE WITH SPECIFICATION 2200.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR MAINTAINING THE STABILITY OF ALL EXCAVATED FACES IN COMPLIANCE WITH OSHA REQUIREMENTS UNTIL FINAL ACCEPTANCE OF THE WORK.
- ALL LIFTS SHALL BE HEAVILY PROOF-ROLLED WITH A MODERATELY HEAVY LOADED PNEUMATIC ROLLER. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOADS SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED FILL.  
BACK FILL:
- SHALL BE A CLASSIFIED AS CL, SP OR SP-SM. CL SHALL HAVE A LL LESS THAN 40 AND PLASITICITY INDEX BETWEEN 12 AND 22. SAND SP SHALL HAVE LESS THAN 10% PASSING THE 200 SIEVE.
- ALL FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 9 INCHES AND COMPACTED TO 95% MODIFIED PROCTOR.
- EXCESS EXCAVATED MATERIAL AND/OR UNUSED BACK FILL MATERIALS SHALL BE REMOVED AND HAULED TO AN AREA DESIGNATED BY OWNER.
- WASHED SAND SHALL COMPLY WITH ASTM C33 FOR FINE AGGREGATE CONCRETE SAND.
- SOIL BEARING CAPACITY = 2000 PSF  
SOIL TYPE #17 PER JEFFERSON PARISH SOIL MAPS

ABBREVIATIONS		
Abv.	ABOVE	J-BOX
A/C	AIR CONDITIONING	KDAT
ADA	AMERICANS WITH DISABILITIES ACT	KDFA
AFF	ABOVE FINISHED FLOOR	Lav.
ASF	ABOVE SUB-FLOOR	Lb.
AHU	AIR HANDLING UNIT	LEED
Alum.	ALUMINUM	M
Approx.	APPROXIMATE(LY)	Max.
Apt.	APARTMENT	MECH
Arch.	ARCHITECT(URAL)	MEP
ARRA	AMERICAN RECOVERY AND REINVESTMENT ACT	MH
ASF	ABOVE SUB-FLOOR	Min.
A.T.	ALUMINUM THRESHOLD	Misc.
Bd.	BOARD	MO
BFE	BASE FLOOD ELEVATION	MPE
Bldg.	BUILDING	MR
Blk.	BLOCK (ING)	M.T.
Bm.	BEAM	Mtl.
Btm.	BOTTOM	NIC
Btwn.	BETWEEN	NFPA
Cab.	CABINET	NTS
Cem.	CEMENT	OC
CJ	CONTROL JOINT	OD
CL	CENTERLINE	P
Cig.	CEILING	Plywd.
CMU	CONCRETE MASONRY UNIT	PSI
Col.	COLUMN	PT
Conc.	CONCRETE	Ptd.
Cont.	CONTINUOUS	PVC
Cu Yds	CUBIC YARDS	Qty.
D	DRYER	R/A
Dbl.	DOUBLE	Ref.
Demo.	DEMOLISH, DEMOLITION	Reqd
Diag.	DIAGONAL	RH
Dim.	DIMENSION	RJ
DN	DOWN	RO
Dr.	DOOR	Sec
DS	DOWNSPOUT	SEER
Dtl.	DETAIL	Sh.
DW	DISHWASHER	Sim.
DWG	DRAWING	SI
E	ELECTRICAL DRAWINGS AND SPECIFICATIONS	SC
EIFS	EXTERIOR INSULATING FINISH SYSTEM	Spec
EJ	EXPANSION JOINT	Sq.
Elec.	ELECTRIC(AL)	SS
Elev.	ELEVATION	Std.
EQ	EQUAL	Stl.
Exist.	EXISTING	Svc.
Ext.	EXTERIOR	Tel.
FE	FIRE EXTINGUISHER	T&G
FJ	FINGER-JOINED PINE OR FIR	Thk.
Ft.	FOOT (FEET)	TV
Galv.	GALVANIZED	Typ.
GFI	GROUND FAULT CIRCUIT INTERRUPTER	UL
Gyp.	GYPSUM	UNO
HB	HOSE BIB	VCT
HC	HOLLOW CORE	Vert.
HM	HOLLOW METAL	VIF
Ht.	HEIGHT	W
HVAC	HEATING/VENTILATING/AIR CONDITIONING	Wd.
IBC	INTERNATIONAL BUILDING CODE, 2021 EDITION	Wdw.
ID	INNER DIAMETER	WH
In.	INCHES	W/O
Insul.	INSULATION, INSULATING	WP
Int.	INTERIOR	Yr.
IRC	INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION	
Notes on Abbreviations: 1. The use of punctuation and capitalization may vary in the Drawings and Specifications; meanings shall nonetheless be as indicated above. 2. Industry standard abbreviations may be used in the Contract Documents in addition to the abbreviations listed above.		

Jefferson Parish

Housing Services Development District

Dorian Rawles, Executive Director

PROJECT DIRECTORY	
<b>OWNER:</b> Jefferson Parish Housing Services Development District (JPHSDD) 121 Pallet Drive, Harvey LA 70053 office phone: (504) 342-4475	
<b>ARCHITECT:</b> Volume Zero LLC Michael Cajski, Project Architect 1034 Joliet St., New Orleans LA 70118-1164 office phone: (504) 864-9909 michael@volumezero.com	
<b>CIVIL/STRUCTURAL ENGINEER:</b> Kyle Associates LLC 638 Village Lane N, Mandeville LA 70471 Thomas Dyer, Project Engineer	

INDEX OF DRAWINGS	
G1	GENERAL (G) Index of Drawings, Site Plan, Roof Plan, Miscellaneous Notes
A1	ARCHITECTURAL (A) Floor Plan, MEP Plan
A2	Finish Schedule, Symbol Legends, Key Notes
A3	Miscellaneous Schedules
A4	Building Section, Exterior Elevations
A5	Details, including building envelope details
A6	Details, including stair and railing details
A7	Interior Elevations
S1.1	STRUCTURAL (S) Foundation Plan
S1.2	Foundation Notes & Details
LS1	LANDSCAPE (LS) Landscape Plan & Planting Schedule

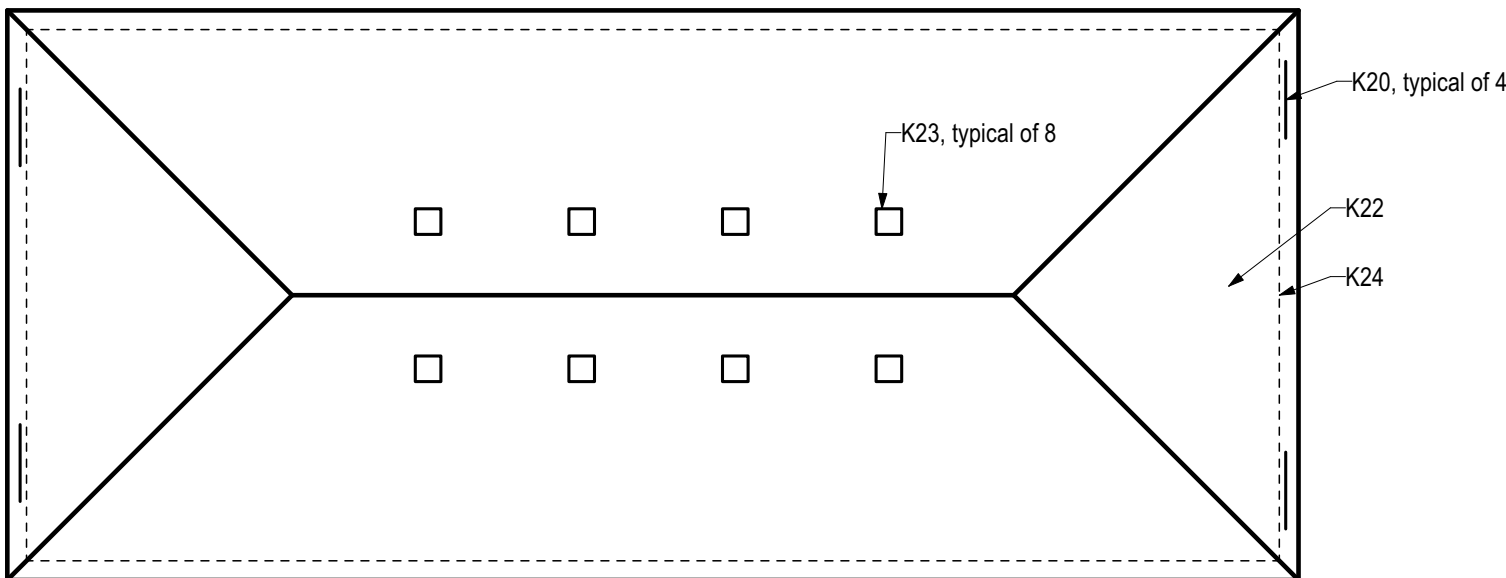
PROJECT GENERAL NOTES	
1.	The Contractor shall verify all relevant dimensions and field conditions before proceeding and shall notify the Architect of any discrepancies between existing field conditions and how they are portrayed in these drawings. Contractor shall verify the fit of all proposed construction.
2.	Provide final cleaning of the project area as per Specification Section 01 77 00.
3.	The Contractor shall make a reasonable effort to prevent hazards & inconveniences to neighbors and the general public. The Contractor shall make a reasonable effort to provide for the safety of persons on the public right of way(s) adjacent to the site and shall secure any necessary permits for barricades, signs, covered walks or other safety features. Such safety features, as deemed to be reasonable, shall be within the Contractor's scope of work.
4.	Construction means and methods shall be the responsibility of the Contractor.
5.	All materials, fixtures, etc. shall be new unless otherwise specified and shall be handled & installed according to all of the manufacturers' instructions & recommendations. Should the Contractor discover an apparent discrepancy between the manufacturer's instructions & recommendations and the Project Drawings and/or Project Specifications, the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
6.	The Contractor shall acquire all the required permits to perform the work, and the work shall comply with all applicable codes & laws. Should the Contractor discover an apparent discrepancy between applicable codes & laws and the Project Drawings and/or Project Specifications the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
7.	The Contractor shall promptly notify the Architect if any discrepancies within the Contract Documents are discovered. In the absence of prompt feedback from the Architect, the Specifications documents shall take precedence over the Drawings. If there are apparent discrepancies within the Drawings and/or Specifications that are not clarified by the Architect prior to the submission of bids for construction, the construction bid amount shall be for the most costly of the apparently conflicting work items.
8.	For all houses with two living units that are mirror images of each other, all items shown and noted for one of the living units shall also apply to the other living unit.

BUILDING INFORMATION	
CONSTRUCTION TYPE: Light wood frame with no fire suppression system. IBC Type Vb.	
OCCUPANCY TYPE: Residential, one- or two- family dwelling.	
BUILDING GROSS INTERIOR FLOOR AREA: as indicated on Site Plan.	

APPLICABLE BUILDING CODE	
BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE (IRC), 2021 Edition, as modified by any Jefferson Parish amendments and as modified by any State of Louisiana amendments.	

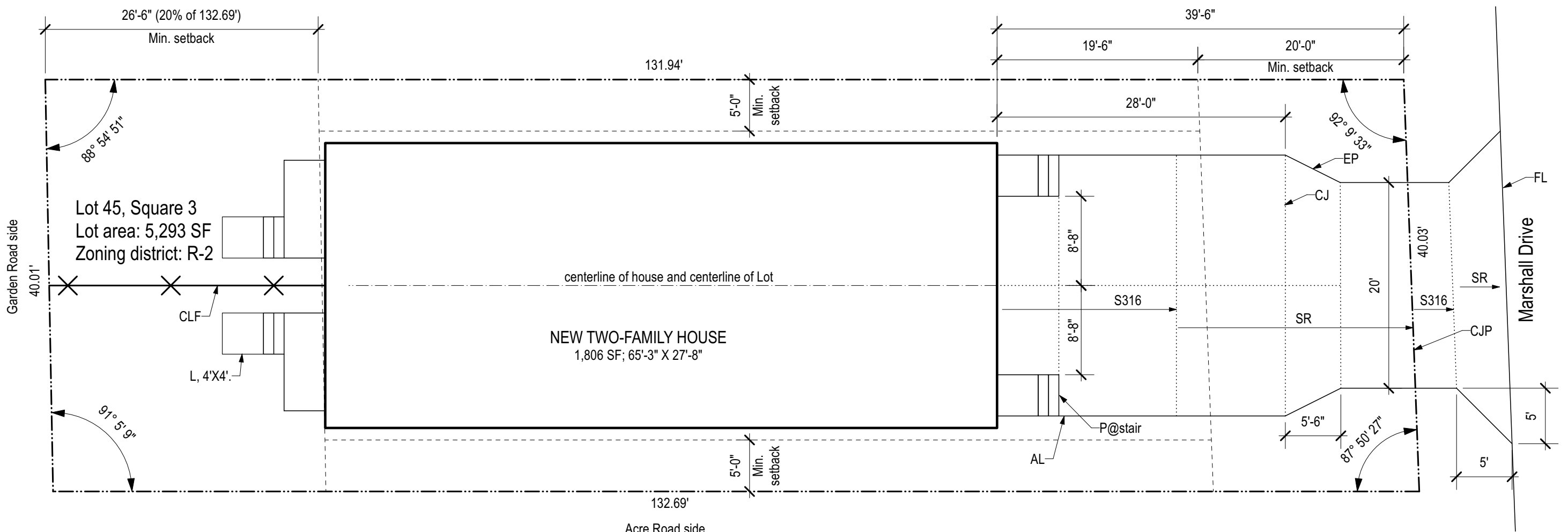
SITE PLAN GENERAL NOTES:	
1.	For work in the public right-of-way, comply with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
2.	Paving within the Lot boundaries shall be 5" thick and reinforced with 6"x12" (wire spacing) highway mesh, 0/1 gauge. Mesh shall be at mid-height of concrete thickness.
3.	Concrete formulation and performance shall match that required by Jefferson Parish for driveway aprons; see the three (3) Appendix drawing sheets.
4.	Minimum side yard setback requirement is five feet, and minimum distance of new combustible construction to any property line is five feet. Non-combustible, un-roofed construction (e.g.: a concrete stair with metal handrails) is allowable within required yard spaces.
5.	The finish surface of paving within the Lot shall match the finish surface of the new paving in the public right-of-way, which shall be in compliance with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
6.	All areas on the Lot that are not covered with paving, planting beds, or the new house shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
7.	All unpaved areas between the Lot and the paved vehicular street shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
8.	Provide river sand fill under paving as required to achieve the specified elevations.
9.	Provide fill as required to fill any low spots on the site.
10.	The Contractor shall maintain the site (including the entire Lot and all portions of the adjacent public right-of-way between the Lot and the paved vehicular street paving) for the duration of the Contract Period. This maintenance shall include grass cutting.
11.	Plant grass sod wherever existing grass is damaged by Contractor's activities, including traffic (foot traffic and vehicular traffic), temporary facilities, excavation, and storage. As preparation, loosen soil where compacted and add backfill as required to eliminate low spots.
12.	Plant grass sod wherever new backfill is provided without a cover of new paving or new ornamental planting.

SITE PLAN KEYNOTES:	
EP:	Edge of new paving. Provide trowelled radius edge.
AL:	Align paving edge with other construction as shown.
CJ:	Control joint, typical (shown as dotted line). Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CJP:	Control joint along property line. Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CLF:	New chain link fence assembly.
L:	New concrete landing at bottom of stair. New concrete paving abutting lowest stair riser shall be at elevation such that the vertical dimension of lowest riser shall be equal to the vertical dimension of upper stair risers. Provide expansion joint with fiber joint filler strip between paving and stair. Slope paving surface 3/16" per foot away from house.
P@stair:	New paving abutting lowest stair riser shall be at elevation such that the vertical dimension of lowest riser shall be equal to the vertical dimension of upper stair risers. Provide expansion joint with fiber joint filler strip between paving and stair.
S316:	Slope 3/16" per foot.
SR:	Slope as required. In the public right-of-way, comply with Jefferson Parish slope requirements; see the three (3) Appendix drawing sheets.
FL:	Surface of new driveway apron flush with surface of existing street paving.



See Key Notes, sheet A2.

2  
G1  
Roof Plan  
Scale: 1" = 10'-0"



1  
G1  
Site Plan, 1234 & 1236 Marshall Dr.  
Scale: 1" = 10'-0"



Flood Zone: X  
BFE: None  
EL. @ centerline of street: +4.70' NAVD  
EL. @ Lot: +4.60' NAVD  
Min. requirement for new Conc. slab Elev.: +6.20' NAVD (18" above centerline of street)  
Specified new Conc. slab Elev.: +6'-4" NAVD

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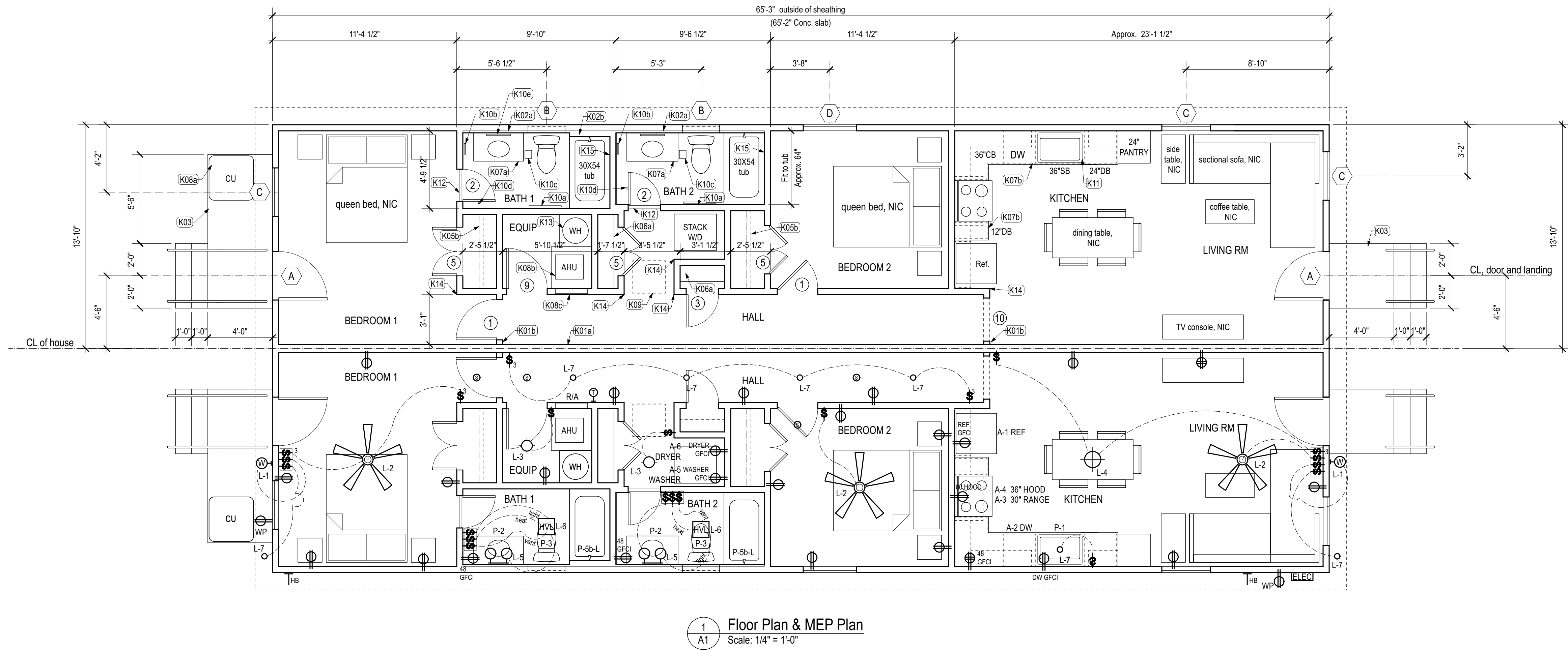
1034 Joliet Street  
New Orleans, La 70118  
504-864-9909 phone  
504-864-9983 fax  
a limited liability company

Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002

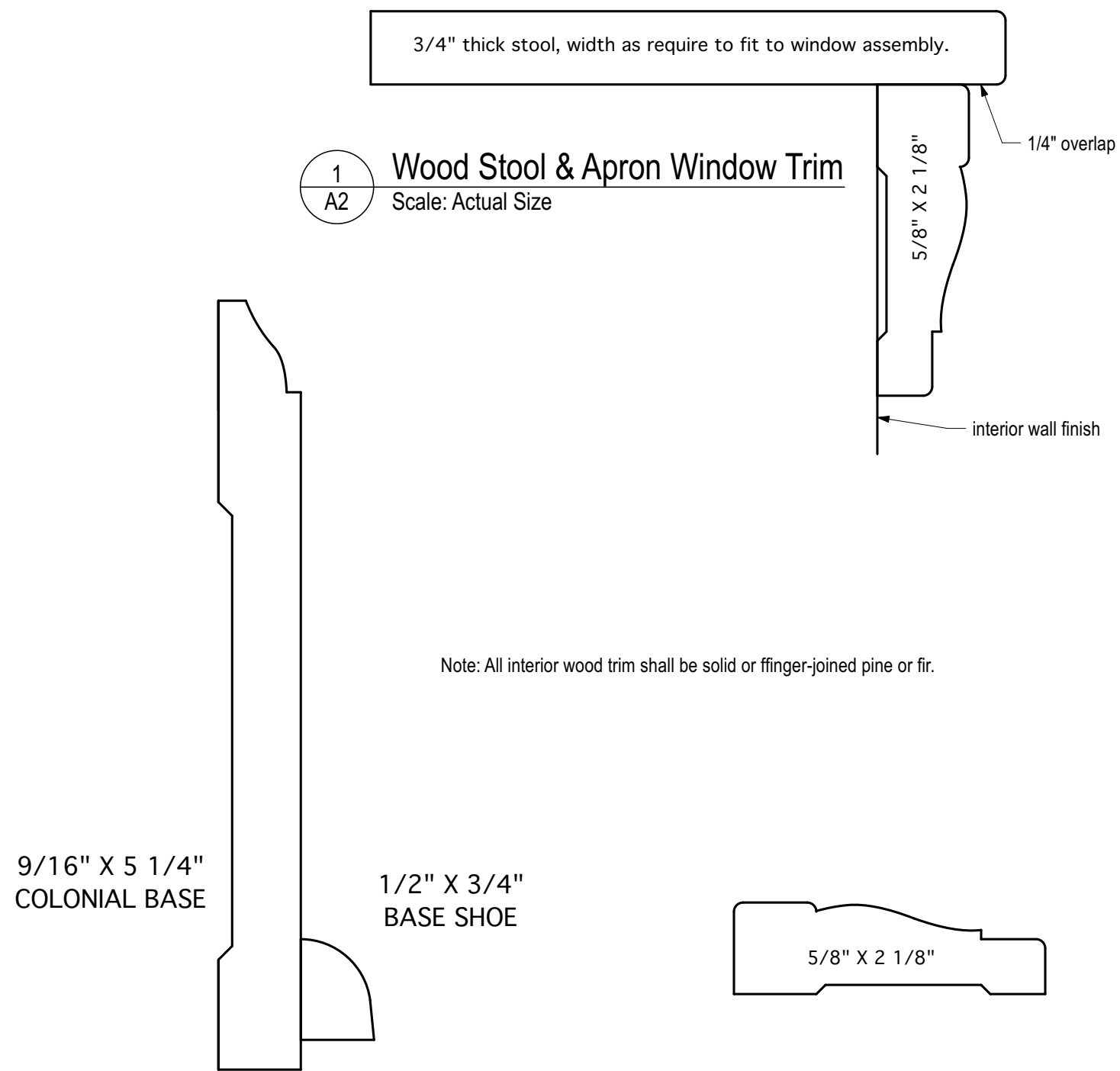
NEW HOUSE AT 1234 & 1236 MARSHALL DRIVE  
MARRERO, LOUISIANA

issue and print dates:  
07/23/2025 - Bidding Documents  
08/06/2025 - Revision 01

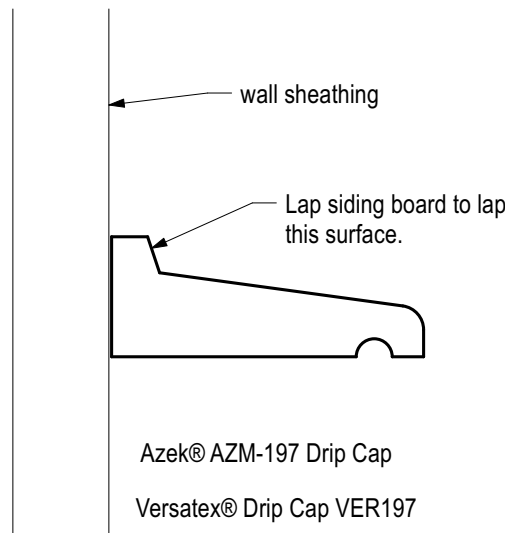
Vol. 0 Project No. 25-006  
drawn by MC  
sheet no.  
G1







2 Wood Wall Base Trim, Type B1  
Scale: Actual Size

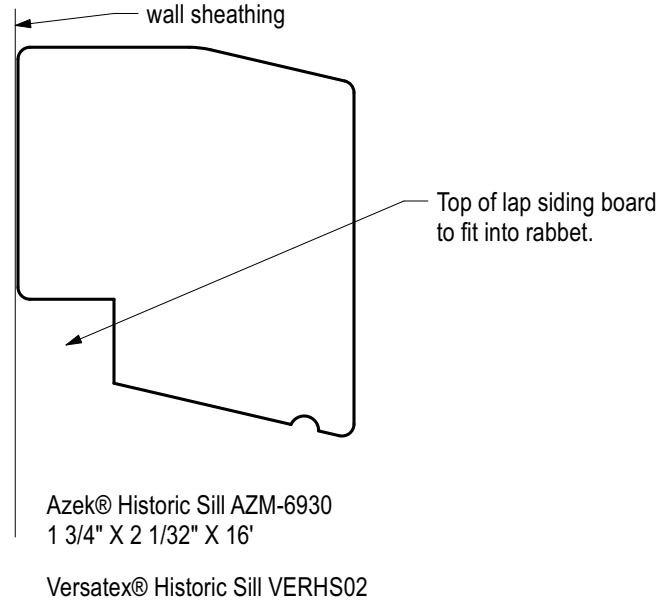


4 PVC Exterior Drip Cap  
Scale: Actual Size



6 Door Type A Elevation  
Scale: not to scale

3 Wood Case Trim, Type C1  
Scale: Actual Size



5 PVC Exterior Window Sill  
Scale: Actual Size

## LIGHTING FIXTURE SYMBOL LEGEND

	wall sconce, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	surface-mounted ceiling light fixture, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	recessed ceiling light fixture w/o housing, UL-rated for wet locations, integral LED, selectable CCT
	surface-mounted ceiling light fixture
	ceiling fan with light kit
	vanity wall sconce, UL-rated for damp locations
	heater-vent-light, UL-rated for wet locations, vent wired to a timer dial switch. Light switched with vanity light fixture. Duct bath fan to exterior.

## MECHANICAL SYMBOLS LEGEND

	HVAC return air grille, 24" X 24" unless noted otherwise – white factory finish on aluminum.
	ceiling-mounted HVAC air supply diffuser with adjustable louvers – white factory finish on aluminum, sized as required.
	vertical air handling unit w/ electric resistance heater, The central HVAC system shall have 14 SEER minimum efficiency. Provide overflow drain pan and drain pipe to exterior.
	HVAC outdoor unit. The central HVAC system shall have 14 SEER minimum efficiency.
	digital programmable thermostat

## DOORBELL BUTTON AND CHIME

At each living unit, provide one hardwired doorbell & chime assembly. The doorbell shall be located at the front door jamb trim. The chime shall be located in the hallway. Confirm exact installation locations with Architect. Doorbell button product: Utilitech model UT-729-00. Chime with transformer product: Utilitech model UT-2796-02.

## ELECTRICAL SYMBOLS LEGEND

	switch
	3-way switch
	ganged switches and wall plate
	duplex outlet receptacle
	quadplex outlet receptacle
	UL-rated waterproof duplex outlet receptacle, recessed in wall
	duplex outlet receptacle with ground fault circuit interrupter
	duplex outlet receptacle with ground fault circuit interrupter located at xx height in inches AFF
	duplex outlet receptacle for a named appliance with ground fault circuit interrupter located at xx height in inches AFF
	new ceiling mounted smoke detector and carbon monoxide detector, hard-wired with battery back-up
	electrical main service panel and electrical meter. Proposed location is shown. Notify Archtitect if other location is deemed by the Electrical contractor or the Electrical utility company to be more advantageous.

## PLUMBING SYMBOLS LEGEND

	drop-in stainless steel single-compartment kitchen sink with single-hole kitchen faucet and drain
	drop-in lavatory sink with single-hole lavatory faucet and push drain
	2-piece elongated toilet with toilet seat, 12" rough-in
	alcove tub w/ tub/shower controls and drain
	alcove shower pan w/ shower controls and drain
	hose bibb with backflow preventer, brass construction
	new electric water heater on drain pan. Water heater: AO Smith 100 series with 6-year warranty. At 2-bedroom units, provide 80 gallon size. At 3-bedroom units, provide 55-gallon size. Drain pan: American Built Pro® WHP22GS-1D. Provide emergency overflow drain pipe to exterior. Verify fit of water heater and drain pan.

## NOTES ON CERAMIC TILE

Basis-of-design product: Manufacturer/Brand: Style Selections (available through Lowe's home improvement stores) collection: Futuro White slip-resistant porcelain tile sizes / formats: 12" X 24" floor tile and 3" X 12" bullnose wall base tile. finish / color: matte / white

Provide submittal documents and samples as per Specification Section 01 33 00.

Provide manufacturer's standard warranty.

Provide thinset mortar/adhesive and grout as per manufacturer's instructions and recommendations.

## NOTES ON SHOWER SURROUNDS

- Shower surrounds shall extend vertically from the top of the tub or shower floor to an elevation 84" minimum above the bathroom finished floor.
- Shower surrounds shall be an alcove configuration. Surround lengths shall correspond to tub or shower pan lengths. Shower surround depths shall exceed tub or shower pan depths by 2" as shown in the Interior Elevations
- Each shower surround shall include at least one soap dish/shelf at a location approved by the Architect.
- Provide silicone sealant all around surround and between surround panels if applicable. Sealant color shall be as approved by Architect.
- Shower surrounds shall be one of two types as indicated below. Color/pattern shall be as approved by Architect.
  - Seamless acrylic, PernaFit™ as manufactured by Bath Fitter®, www.experiencebathfitter.com.
  - Cultured marble panels with subway tile pattern as manufactured by Plantation Marble, 5791 River Road, New Orleans LA 70123, www.plantationmarblenola.com.
- Fit shower surround assembly to other new construction, including plumbing items and walls.
- The terms "shower surround", "tub surround", and "bathtub surround" are interchangeable in the Contract Documents.
- At each shower surround, provide one commercial-grade stainless steel shower curtain bar: Moen Donner Commercial Collection model CS136-5-SS.

## KEY NOTES

(especially keynotes relevant to Floor Plan)

K01a: Fire-rated demising wall with acoustic insulation: UL Design U340, Gypsum Association File No. WP 3371. See Details. Provide firestopping as required for 1-hour fire separation at all penetrations; all such firestopping shall be certified for use in a 1-hour rated partition by the Contractor's firestopping materials/assemblies manufacturer; Hilti or equal. Acoustic insulation shall be sound attenuation fire blanket as per Spec Sec 07 21 16. See Drawing 2/A5.

K01b: Intersection of typical interior wall with fire-rated demising wall. Gypsum board shall be continuous at demising wall. Install framing of typical interior wall over gypsum board of demising wall.

K02a: Provide 2X2 furring on wall studs; total thickness of wall framing shall be 6". If furring is at demising wall, install furring members over gypsum board of demising wall.

K02b: Furr out wall as required for construction materials/assemblies to fit as shown. If furring is at demising wall, install furring members over gypsum board of demising wall.

K02c: Provide 2X4 furring on wall studs. If furring is at demising wall, install furring members over gypsum board of demising wall.

K03: Concrete landing and stair and handrails. See other drawings, including Structural.

K04: Sound blocking wall assembly: 2X6 plates, 2X4 staggered studs @ 12" OC (at 24" OC on each side of wall). Provide acoustic insulation; acoustic insulatin shall be sound attenuation fire blanket as per Spec Sec 07 21 16.

K05a: Vinyl-coated wire shelving in bedroom closet or coat closet. Rubbermaid® Expandable Closet Kit, 2-4-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05b: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 3-6-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05c: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 4-8-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05d: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 6-10-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06a: Vinyl-coated wire shelving in pantry, closet, or storarage room. 4 shelves, 12" deep. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06b: Vinyl-coated wire shelving above washer and dryer. 1 shelf, 12" deep. Length to fit space as shown.

K07a: Countertop at vanity. Provide cut-out(s) as required for plumbing item(s).

K07b: Kitchen countertop. Provide cut-out(s) as required for plumbing item(s).

K07c: not used.

K08a: HVAC exterior equipment on concrete platform. Provide feet or pad as required to comply with Jefferson Parish flood elevation requirements.

K08b: HVAC interior equipment on plywood platform. Top of platform shall be 36" above concrete slab. Platform floor assembly shall be 4" t hick, 1/2" plywood on 2X4 framing.

K08c: Return air grille, located above wall base trim and below HVAC equipment platform assembly.

K09: Attic access hatch, insulated and lockable. Provide framed opening as per manufacturer's instructions and recommendations. Provide keys to Owner. The Williams Brothers Corporation of America model WTB AL 1500 20X20.

K10a: Towel bar assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall. Bar length as indicated on drawings.

K10b: Towel ring assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10c: Toilet paper holder assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10d: Robe hook assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10e: Mirror: Bobrick B-165 1830 with polished stainless steel frame. Center over lavatory and faucet.

K11: Fire extinguisher in under-sink cabinet. First Alert Home1-A-10-B-C rechargeable fire extinguisher.

K12: Marble threshold.

K13: Electric water heater on drain pan. See Specification Section 11 30 13 – Residential Appliances.

K14: Wall corner guard, 16 gauge Type 304 stainless steel with brushed finish, 48" high x 1 1/2" x 1 1/2". Bottom of guard shall be 8" above the finished floor.

K15: Shower surround assembly at 3 sides of bathtub. See NOTES ON SHOWER SURROUNDS, this sheet. See Interior Elevations, Sheet A7.

K16-K19: not used

## KEY NOTES

(especially keynotes relevant to Roof Plan)

K20: Roof diverter, 4' long, centered over door, galvanized steel or aluminum with dark bronze factory finish. Install in compliance with Fortified™ roof requirements.

K21: Drip edge flashing all around roof perimeter, aluminum with white factory finish.

K22: Asphalt shingle roofing as part of a Fortified™ roof assembly.

K23: Louver vent at roof. 60 square inches of net free vent area each. GAF Master Flow Roof Louver SSB960AWF Metal Super Slant Back. Space louver vents at 8'-0" OC. Locate all louver vents 36" clear of ridge/line, measured horizontally (40 1/4" clear of ridge/line, measured along roof slope). Louver vent shall be compliant with Fortified™ roof requirements and shall be certified by the manufacturer to have passed the TAS 100 Standard Test for Wind and Wind Driven Rain Resistance of Discontinuous Roof Systems. Provide documentation of certification.

K24: Exterior face of house perimeter walls below.

K25-K29: not used

## KEY NOTES

(especially keynotes relevant to Exterior Elevations)

K30a: PVC drip cap. See full-scale detail drawings. Note that all drip caps are at the same elevation; install window heads at the correct elevation relative to exterior door heads in order to accomplish this alignment.

K30b: PVC sill. See full-scale detail drawings.

K31a: 5/4 X 4 HardiTrim fiber cement corner board, 3 1/2" face.

K31b: 5/4 X 4 HardiTrim fiber cement corner board, 1" edge.

K31c: 5/4X4 HardiTrim fiber cement case trim. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing.

K31d: 5/4X10 HardiTrim fiber cement case trim at door head. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing. Note that top of 5/4 X 10 door case head trim aligns with top of 5/4 X 4 head case trims of windows. See Key note 30a regarding window unit head heights relative to exterior door head heights.

K31e: 1X HardiTrim fascia at roof eave.

K32: Mailbox: Reliablitt metal standard mailbox, black, wall mounted, model #07-3068.

K33: Address numerals. Product option 1: Taymor Industries, Inc. 25-ANB6 Classic Aluminum House Numbers, 6 inches high, matte black. Product option 2: Reliablitt 6-in Black Numbers, model 33620PKBLG. Center numerals group on vertical centerline of door. Center numerals on horizontal centerline of door head trim board. Numerals shall correctly identify the municipal address of each living unit.

END OF "K" SERIES KEY NOTES

## SCHEDULE OF INTERIOR FINISHES

Room/Space Type	Typical Floor Finish	Typical Wall and Ceiling Finish	Typical Wall Base Trim	Typical Door Case Trim	Typical Window Trim
Living Room	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Kitchen	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bedroom	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Laundry*/Equipment/Utility	Gypsum Board, moisture-resistant	Gypsum Board, moisture-resistant	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bathroom / Powder Room	Ceramic Tile	Gypsum Board, moisture-resistant	Ceramic Tile	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Miscellaneous closets	Match finishes of the room from which the closet is accessible.				

\*including Laundry closets and alcoves in addition to Laundry rooms  
(Note: Provide fire-rated gypsum board and other non-typical finishes wherever indicated in the drawings. Gypsum board shall be the moisture-resistant type at all wet walls, including Laundry and Kitchen wet walls.)

Volume Zero

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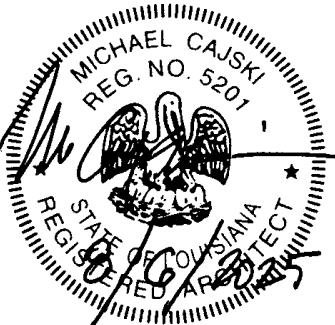
Vol

1034 Joliet Street  
New Orleans, La 70118  
504- 864-9909 phone  
504- 864-9983 fax

a limited liability company

Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002  
**NEW HOUSE AT 1234 & 1236 MARSHALL DRIVE**  
MARRERO, LOUISIANA

Issue and print dates:  
07/23/2025 - Bidding Documents  
08/06/2025 - Revision 01



Vol. 0 Project No. 25-006

drawn by MC

sheet no.

A2



LIGHT FIXTURE SCHEDULE					
MARK	FIXTURE DESCRIPTION	FIXTURE MODEL NO.	LAMP DESCRIPTION	LAMP MODEL NO.	REMARKS
L-1	exterior wall/pendant surface-mounted LED fixture, dusk-to-dawn photocell, 3 CCT selectable, die-cast aluminum body and cage, frosted glare-free polycarbonate lens, powder-coated BRONZE finish, UL-listed wet locations, Energy Star rated, non-dimming, 120V	PROBRITE® AXIS: AXS12-3CCT-PC-BZ	12W LED (75W equiv), 1000 lumens, >80CRI, 50K hours	integrated LED, lamp included	Set CCT to WARM (3000K), install using dusk-to-dawn setting
L-2	42" flush-mount ceiling fan with light kit, reversible 3-speed motor, reversible airflow, 3-arm light w/ dimmable LED lamps included, pull-chain control, matte black housing, 5 matteblack/dark chocolate reversible easy-to-attach blades, 2857 CFM airflow, 15.22" h	Harbor Breeze® Coachman 42": 43305	(Qty of 3 lamps) Each lamp 5.5W LED A15, E26 base, 550 lumens, dimmable, included	replaceable LED, lamps included	install blades with dark chocolate side visible
L-3	exterior surface-mounted ceiling light 4.25"X 8"h, E26 medium base lamp, incandescent 60W, aluminum body w/ black finish, opal glass shade, UL-rated wet locations	SATCO®   NUVO® : SF77-154	E26 base, 9W A19 LED (60W equiv replacement),120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-4	exterior surface-mounted ceiling light 13"dia X 5"h, integral 23W LED, 3000K, aluminum body w/ black finish, frosted glass shade	Globe Electric® Mark®: 44658	23W integrated LED, 120V, 3000K, 2000 lumens, 80CRI, 30K hours, dimmable	integrated LED, lamp included	
L-5	wall-mounted vanity light, 2-lamp, matte black finish, UL-listed for damp location + glass shades (2 1/4" fitter) + (2) 60W A19 E26 lamps	Style Selections Mix and Match: VBK120-2CH + N284M (shades, 2 needed)	E26 base, 9W A19 LED (60W equiv replacement),120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-6	heater-vent-light, white, 80 CFM, 1.2 sones, 1300W heating element, LED light, 4" duct	Utilitech®: 7123-02-L	LED included		
L-7	4" Dia. exterior recessed light fixture w/ direct mount LED module w/ remote driver, IC and non-IC suitable, integral LED light, selectable CCT: 2700K, 90 CRI, UL-listed for wet locations, white baffle, 1200 lumens, 90 CRI, dimmable	HALO®: LCR4129FSED010MW	14.3W integral LED		

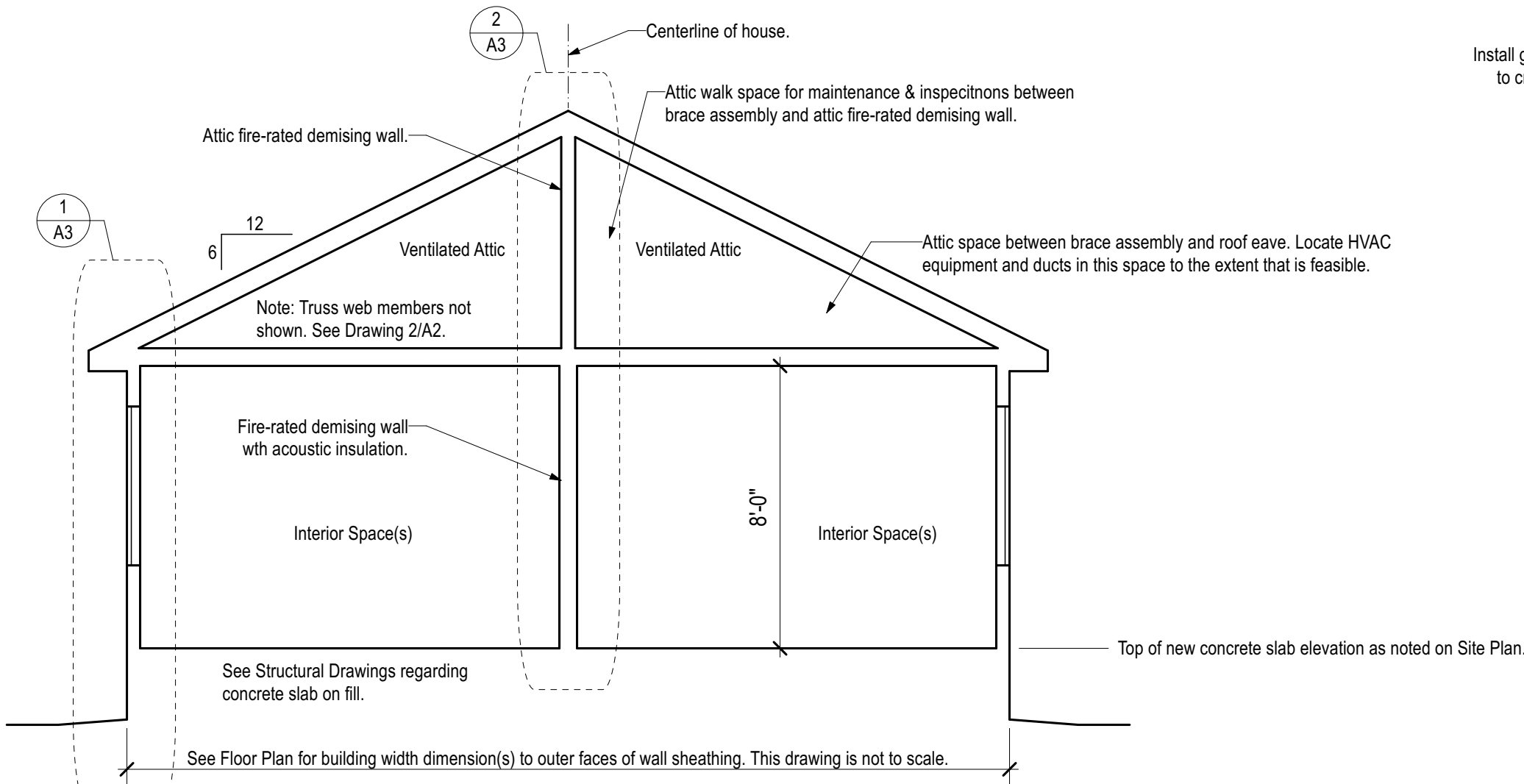
APPLIANCE SCHEDULE			
MARK	DESCRIPTION	MODEL NO.	REMARKS
A-1	Top freezer refrigerator 18.3 cu ft, nominal 28"X 30.8"X 30.8"d, white, ADA-compliant, wire shelves, LED light	Frigidaire® FFTR1814WW	ALTERNATE: Frigidaire® FFHT1822, 17.6 cu ft, stainless steel, Energy star
A-2	24" dishwasher, front control, stainless steel w/ black, Energy Star rated, 59 DB, 3 cycles, 4 wash levels	Amana® ADFS2524RZ	install with braided stainless steel hose (not included)
A-3	30" freestanding electric range, glass top, stainless steel w/ black, Energy Star rated,	Whirlpool® WFES3030RS	
A-4	36" vent hood, ducted, stainless steel w/ black, ADA-compliant, 160-190 CFM, 6.5 sones, E26 base incandescent light	Broan® F403604	duct ports fit 3 1/4" X 10" or 7" round, Contractor shall provide all required accessories for proper function, including but not limited to duct, duct vent outlet cover, and light bulb.
A-5	stackable washer, Energy Star rated, ADA-compliant, white	Samsung® WF45T6000AW	
A-6	stackable electric dryer, Energy Star rated, ADA-compliant, white	Samsung® DVE45T6000W	Contractor shall provide all required accessories for proper function, including but not limited to duct and duct vent outlet cover

PLUMBING FIXTURE SCHEDULE				
MARK	DESCRIPTION	MODEL NO.	COLOR/FINISH	REMARKS
P-1	Kitchen sink: drop-in 33X22, single compartment, 16 ga. stainless steel, pre-drilled for single-hole, satin finish, drain located @ center rear, drain/strainer basket included	Miseno® MNO3322SRTM	stainless steel satin finish	--
	Kitchen faucet: high arc, single hole, single handle, do NOT install side sprayer, ADA-compliant	Delta® Precept® P199152LF	polished chrome	Side sprayer may be included in kit, BUT do NOT install sprayer. Transmit side sprayer to Owner.
P-2	Lavatory sink: drop-in vitreous china sink w/ overflow drain, oval shape, pre-drilled for one hole, 20.25" X 17.5"X 8.5"d	Kohler® Pennington® K-2196-1-0	white	
	Lavatory faucet: single-hole, single handle faucet w/ pop-up drain, ADA-compliant	Delta® Modern Project Pack® 534LF-PP	polished chrome	
P-3	Toilet with toilet seat: 2-piece, elongated bowl, 1.28 gpf, 12" rough-in	Project Source® ProFlush® MT-802PRO	white	
P-4	Shower assembly (with shower base size variation):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, no stops	Delta® Universal Mixing Rough-in® R10000-UNBX	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	shower drain: 2" compression fit drain, brass body	WESTBRASS® D206B-26	polished chrome	
	P-4a alcove shower base 32" X 48" X 2.75" with center drain, single threshold	DreamLine® SlimLine® DLT1132480	white	Select from these two shower pan options to fit as shown in Floor Plan.
	P-4b alcove shower base 36" X 48" X 2.5" with center drain, single threshold			
P-5	Tub/Shower assembly (with tub size and drain location variations):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, with stops	Delta® MultiChoice Universal Mixing Rough-in® R10000-UNWS	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	tub spout with integral diverter, wall-mounted	Delta® RP19895	polished chrome	
	tub drain, brass pipe	Keeney® 595R8	polished chrome	
	P-5a-R 30X60 alcove tub, right-hand drain, porcelain enameled steel	American Standard® Princeton® 1391202.020, right hand drain	white	
	P-5a-L 30X60 alcove tub left-hand drain, porcelain enameled steel	American Standard® Princeton® 1390202.020, left hand drain	white	Select from these four bath tub options to fit as shown in Floor Plan.
	P-5b-R 30X54 alcove tub, right-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3302-00, right hand drain	white	
	P-5b-L 30X54 alcove tub left-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3303-00, left hand drain	white	

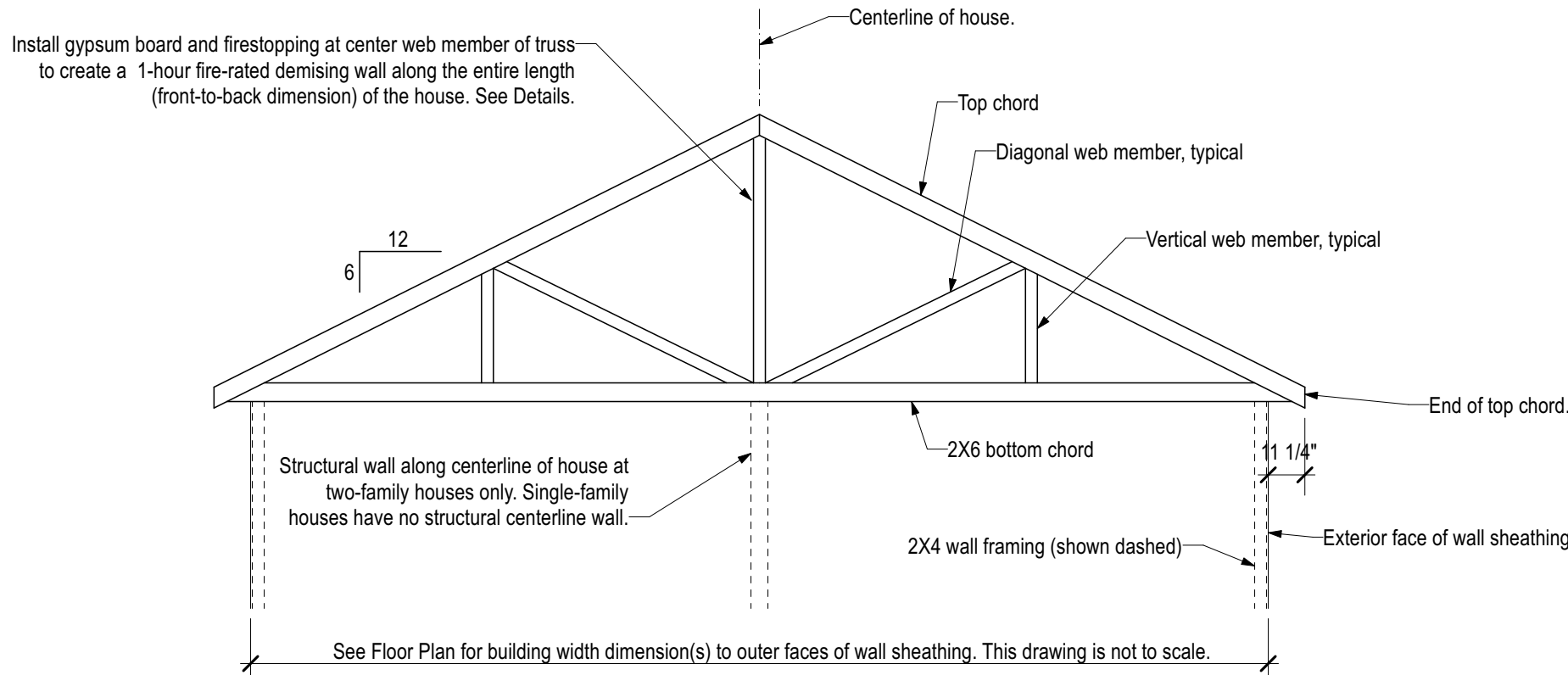
EXTERIOR OPENINGS SCHEDULE						
MARK	UNIT SIZE	DESCRIPTION	MANUFACTURER AND SERIES	MODEL NO.	HARDWARE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	4-paneled steel entry door with glass top panel: impact-resistant, insulated, Energy Star compliant, paintable factory finish, w/ 20-year standard manufacturer's warranty.	Masonite®, (See Sheet A2 for Elevation)	--	entry hardware set, Grade 1: Schlage® Century® Single Cylinder Door Handleset with Latitude® Handle F60 G CEN 622 LAT, matte black	Provide peep hole @ 60" AFF, centered on door width. See Ext. Elevations re: alignment of window and door head trims.
B	2'-4" X 1'-6"	Vinyl, fixed, impact-resistant, transom window, insulated glass, single-lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVTSM2818	NA	See Ext. Elevations re: alignment of window and door head trim.
C	3'-0" X 5'-0"	Vinyl, single-hung, impact-resistant window, insulated glass, 1 over 1 lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVSH3660	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.
D	3'-4" X 5'-0"	Vinyl, single-hung, impact-resistant window with emergency escape and rescue opening, insulated glass, 1 over 1 lite configuration	Vwinco® OceanView Impact Resistant Windows®	OVSH4060	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.

INTERIOR OPENINGS SCHEUDLE			
MARK	UNIT SIZE	DESCRIPTION	REMARKS
1	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
1a	same as Mark 1	Same as Mark 1	
2	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
3	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
4	1'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
5	2(1'-6" X 6'-8" X 1 3/8")	Pair of solid core flush birch veneer doors, swinging. Total width of two door panels: 36".	
6	4(1'-0" X 6'-8" X 1 3/8")	Pair of flush birch veneer bi-fold doors. Total width of four door panels: 48".	
7	2'-0" X 3'-8" X 1 3/8"	Solid core, birch veneer door, cut door height to fit above AHU platform, door head at 6'-8" AFF, keyed hardware	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors. Match head height to other interior doors.
8	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
9	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
10	2'-8" X 6'-8"	cased opening	



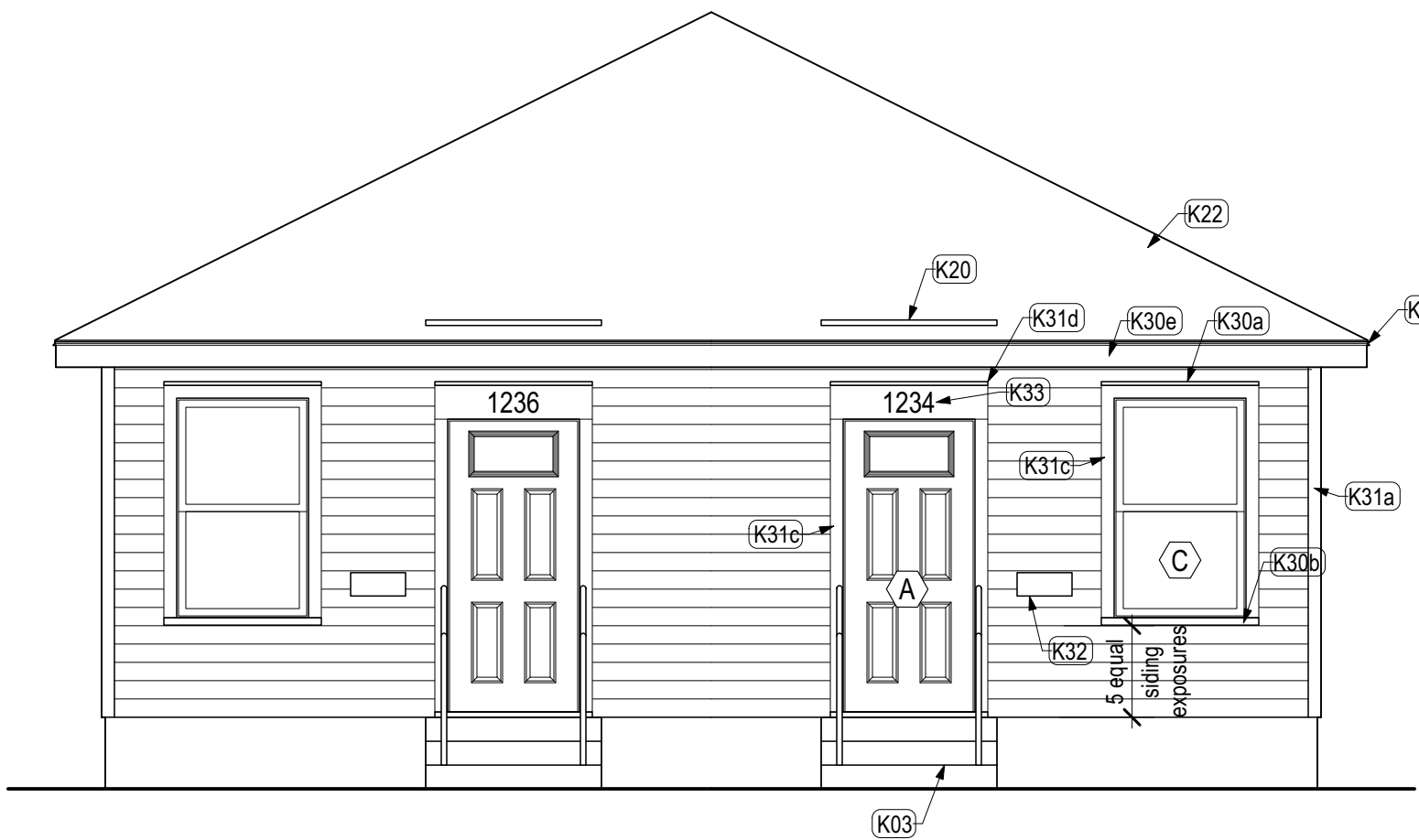


1 Building Section  
Scale: 1/4" = 1'-0"

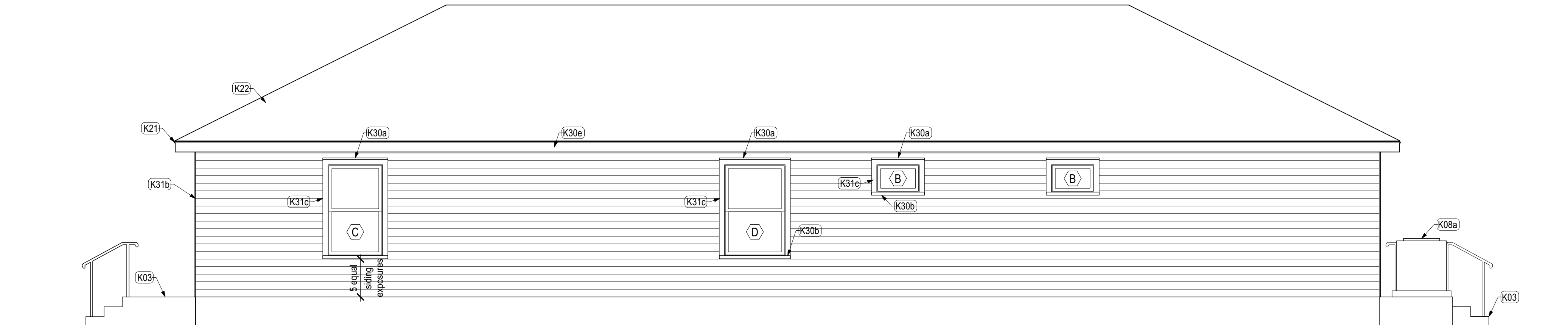


- Notes:
1. Typical truss configuration shall be Howe (shown) or Double Howe (not shown) unless otherwise approved by Architect.
  2. Provide shop drawings stamped by a Louisiana-licensed structural or civil engineer. These drawings shall include design of bracing and truss-to-wall connections.
  3. The roof structure shall comply with Fortified™ roof requirements.
  4. Provide all required truss bracing and connections as per the truss shop drawings.
  5. Top chord and bottom chord members shall be 2X6.
  6. Web members shall be 2X4 minimum.
  7. Truss spacing shall be 24" on-center.
  8. See Roof Plan. Trusses shall conform to roof designs including hips and valleys, if applicable.

2 Typical Pre-Engineered Roof Truss  
Scale: 1/4" = 1'-0"



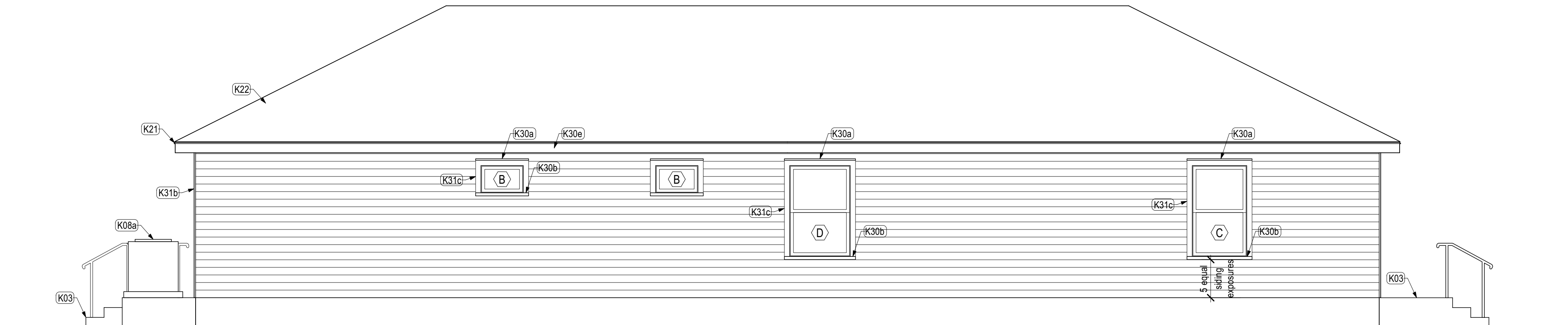
3 Front Elevation  
Scale: 1/4" = 1'-0"



4 Right Side Elevation  
Scale: 1/4" = 1'-0"



5 Rear Elevation  
Scale: 1/4" = 1'-0"



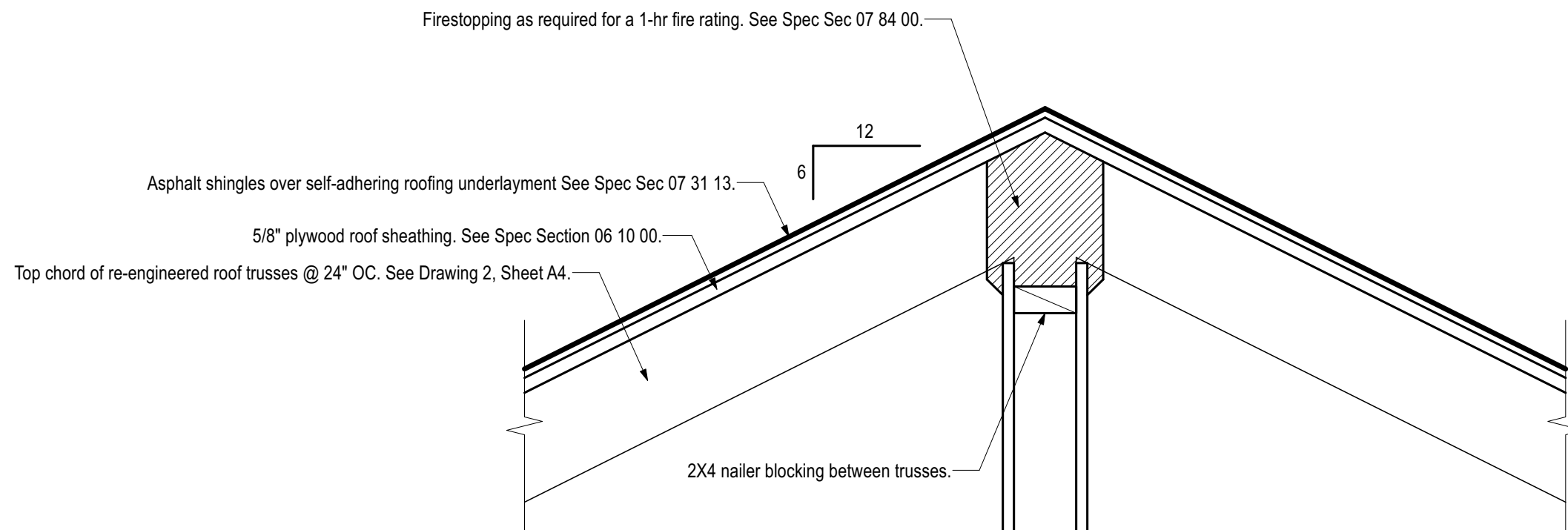
6 Left Side Elevation  
Scale: 1/4" = 1'-0"



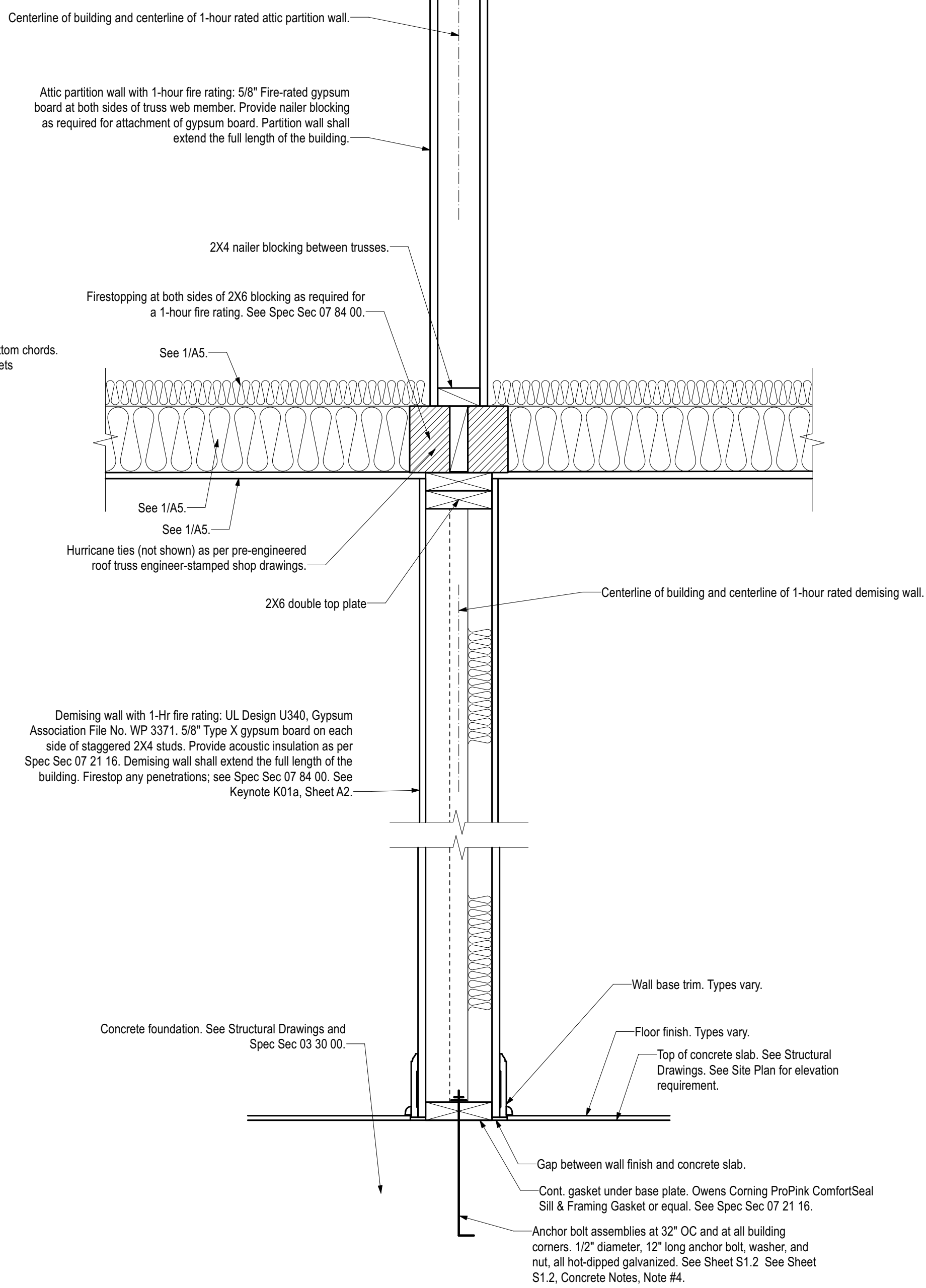




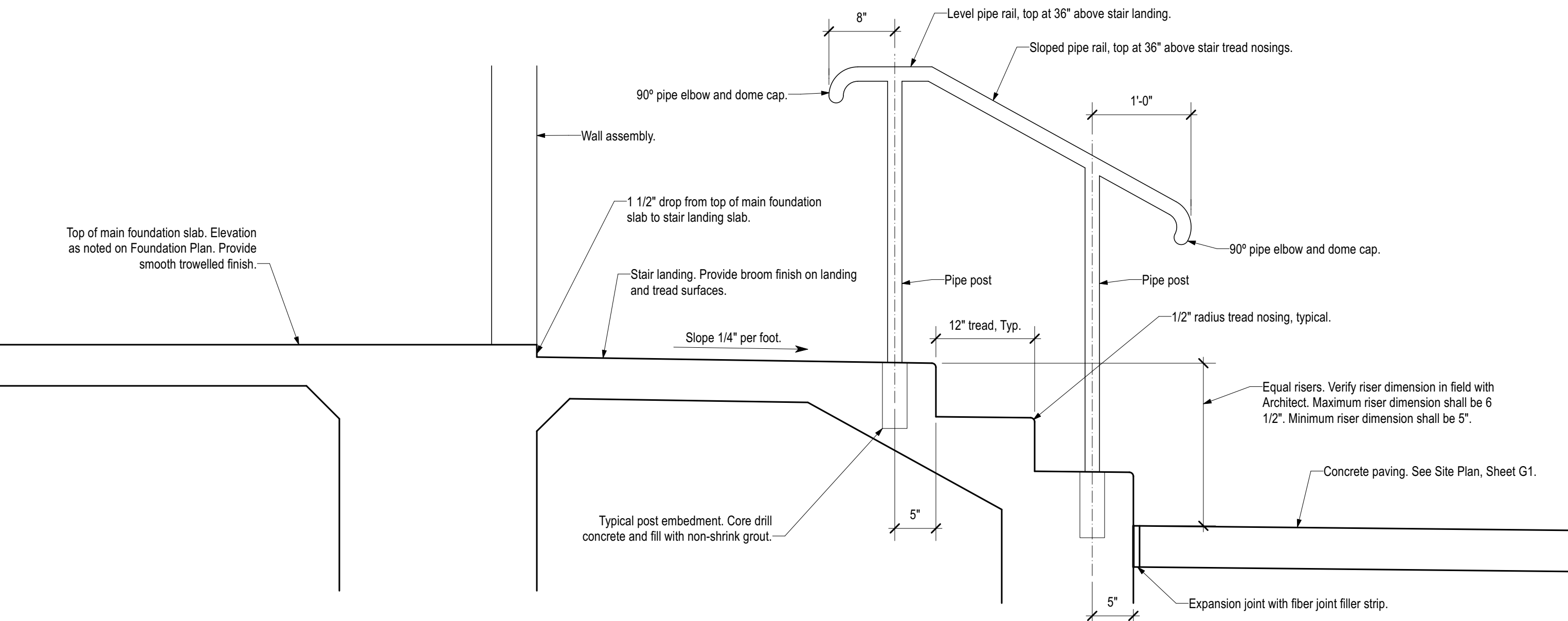
01



**1**  
A5 Typical Exterior Wall Section Detail  
Scale: 1 1/2" = 1'-0"

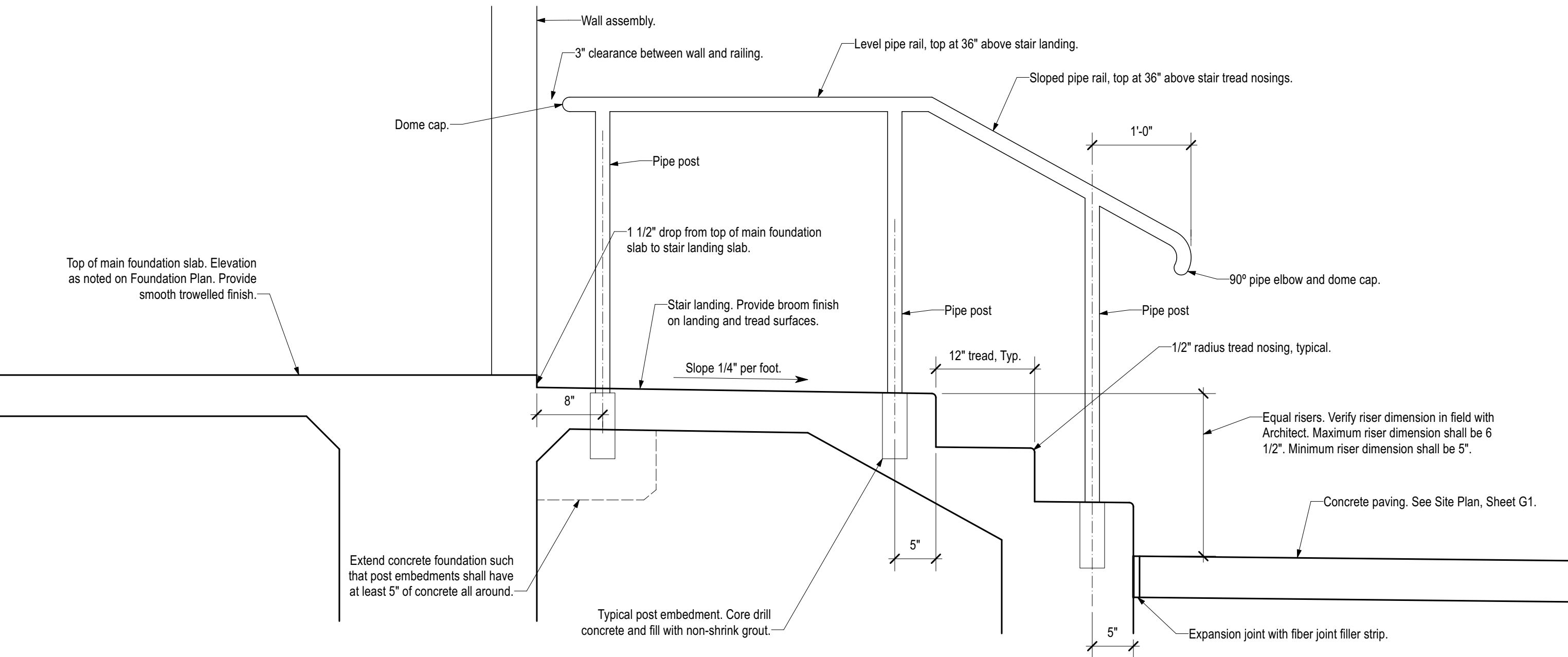


**2**  
A5 Typical Demising Wall Section Detail  
Scale: 1 1/2" = 1'-0"



Note: See Spec Sec 05 52 13 regarding railing assemblies.

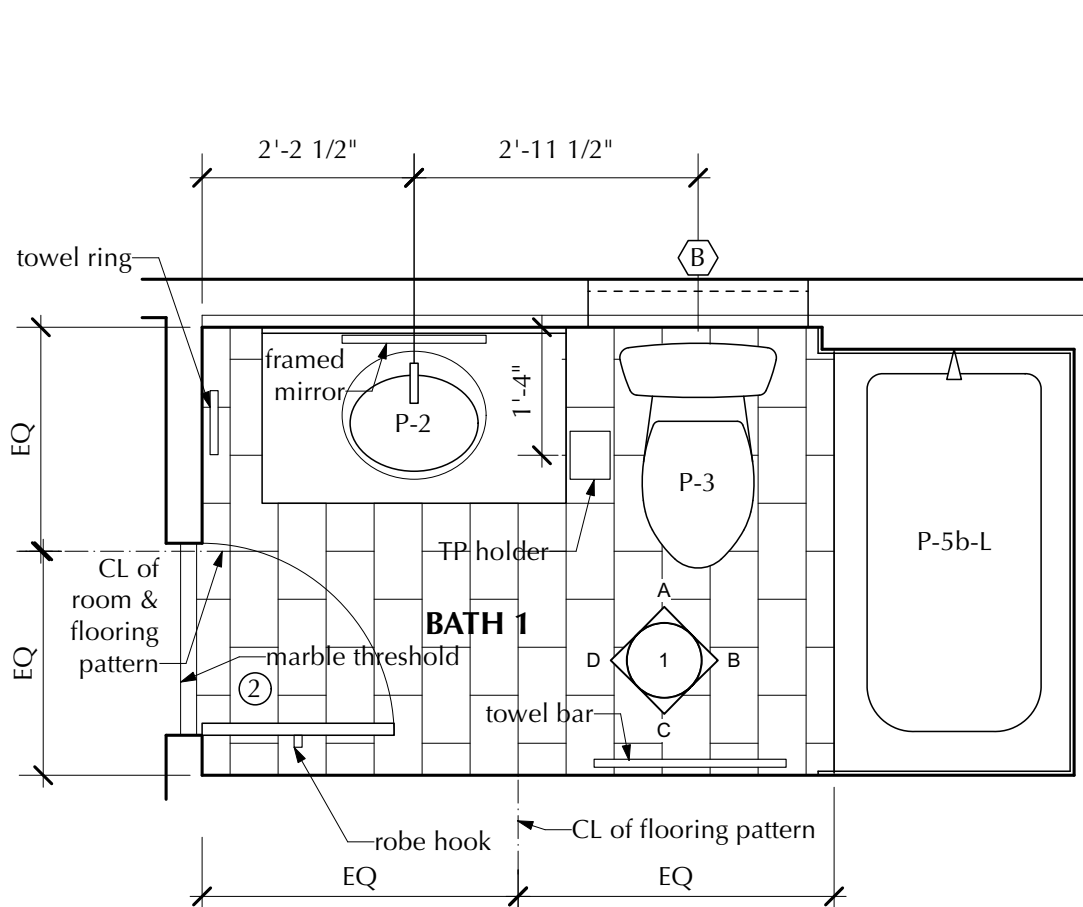
1  
A6 Stair & Landing Detail with Typical Rail Assembly  
Scale: 1" = 1'-0"



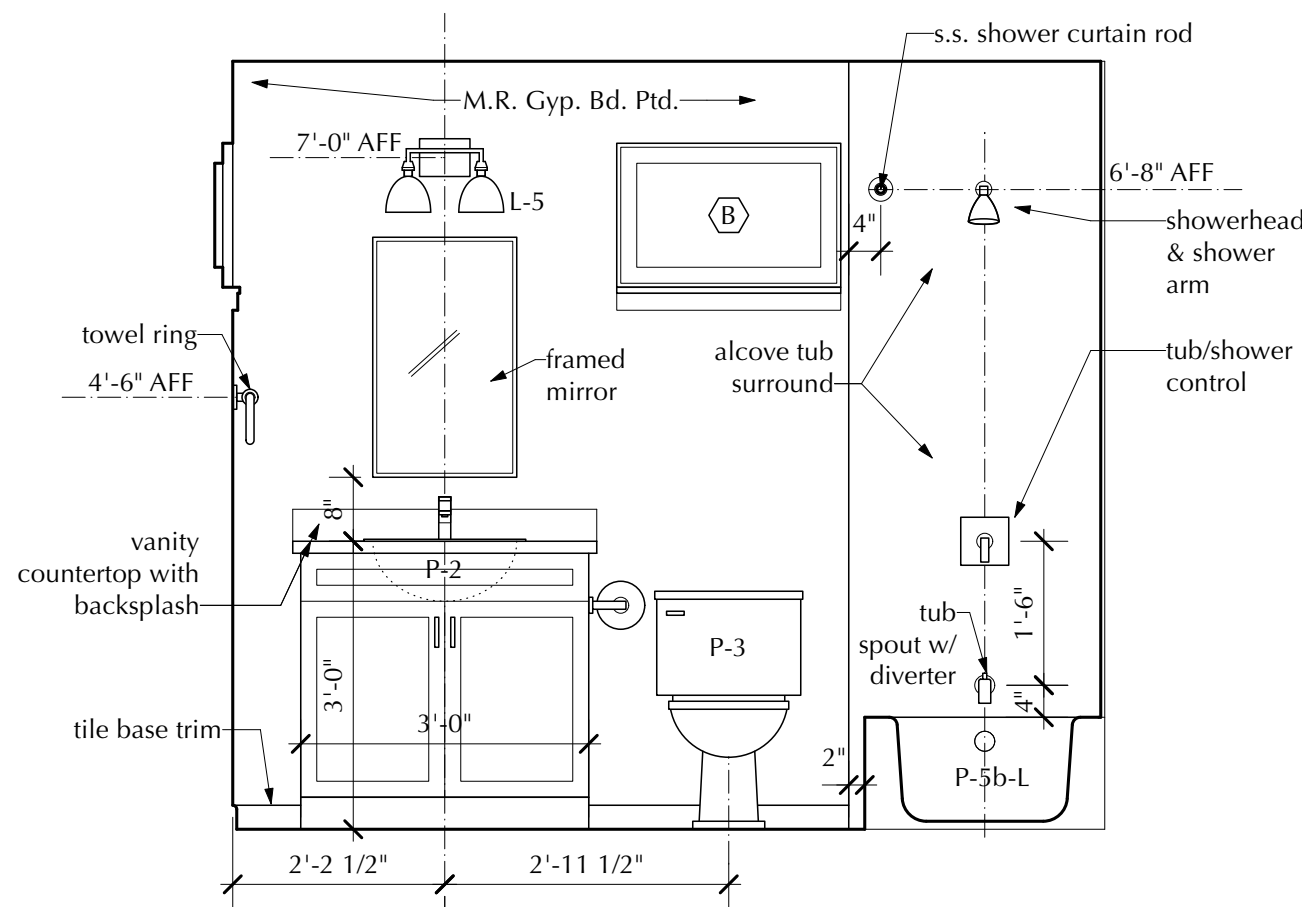
Note: See Spec Sec 05 52 13 regarding railing assemblies.

2  
A6 Stair & Landing Detail with Extended Rail Assembly  
Scale: 1" = 1'-0"

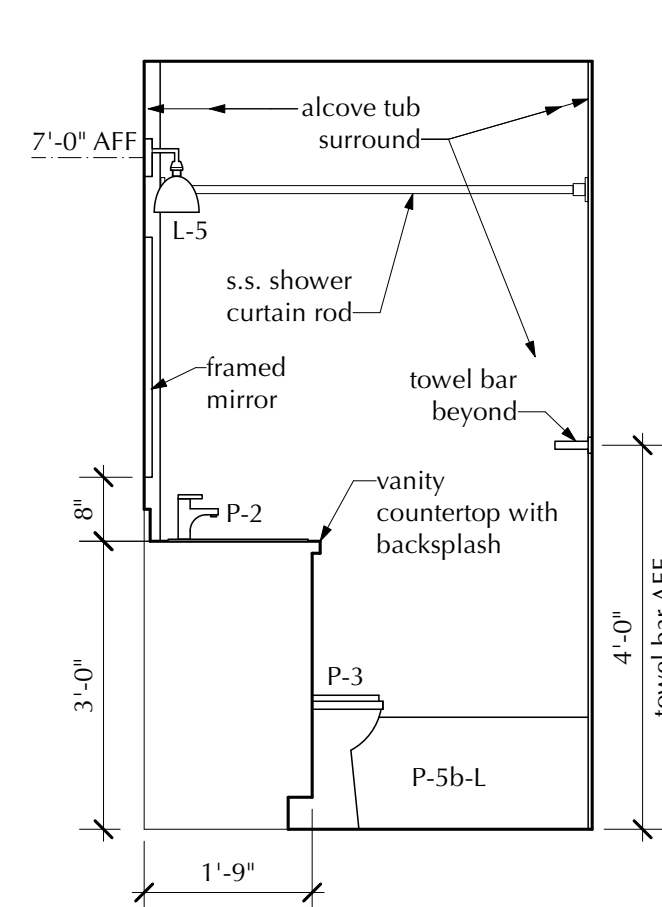




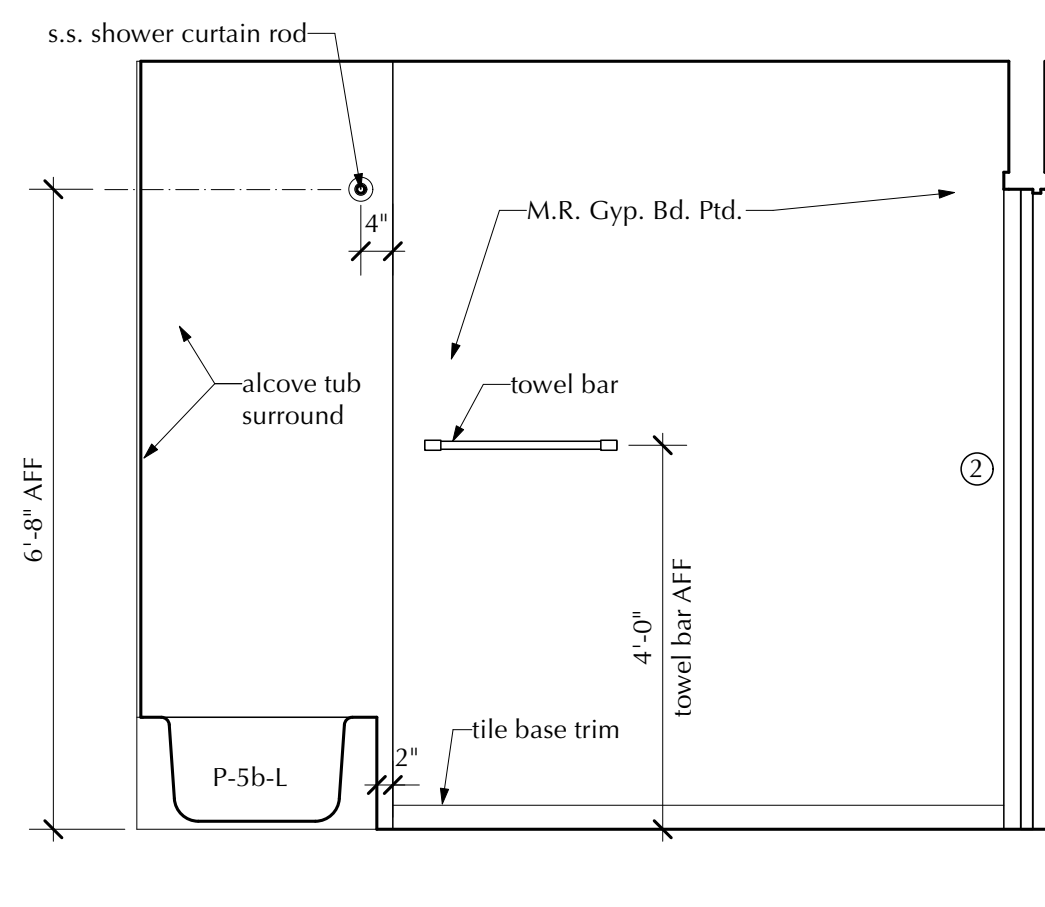
**1 BATH 1 (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



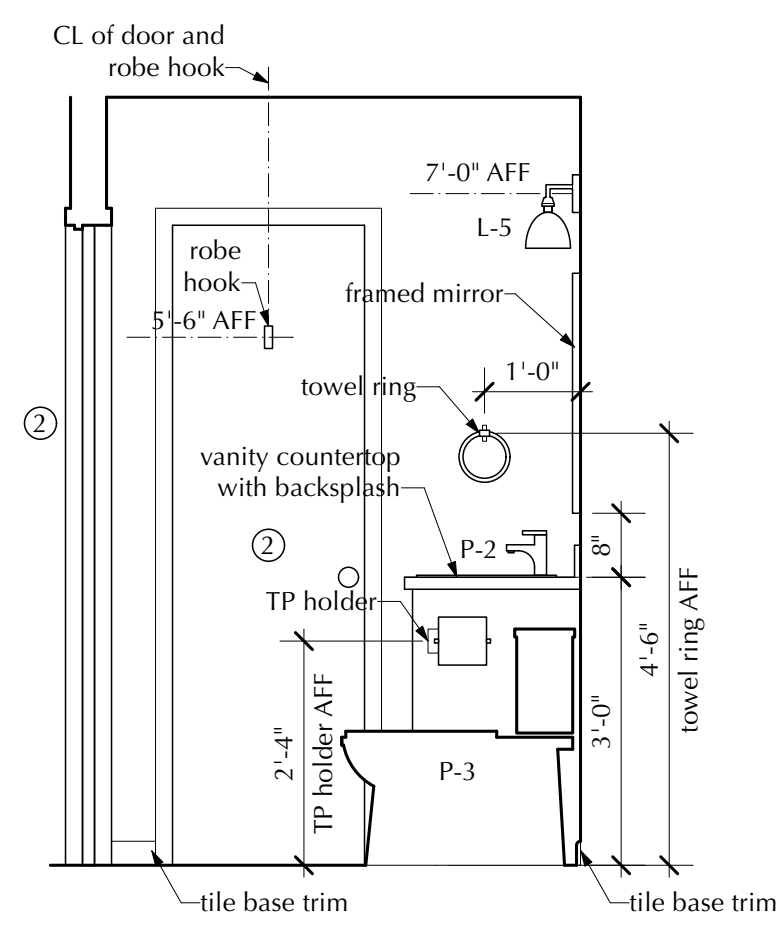
**1A BATH 1 (of Right Side Unit) | Int. Elev. | View of Wet wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



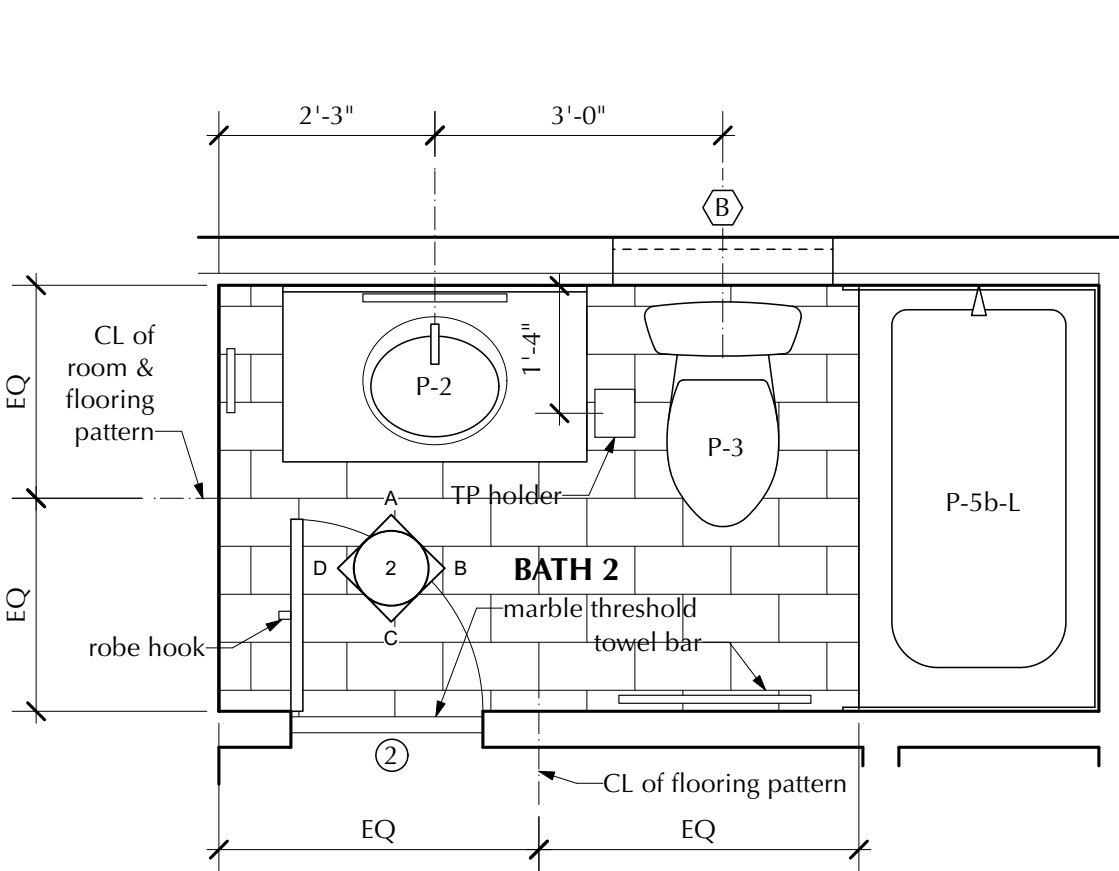
**1B BATH 1 (of Right Side Unit) | Int. Elev. | View of Tub Alcove**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



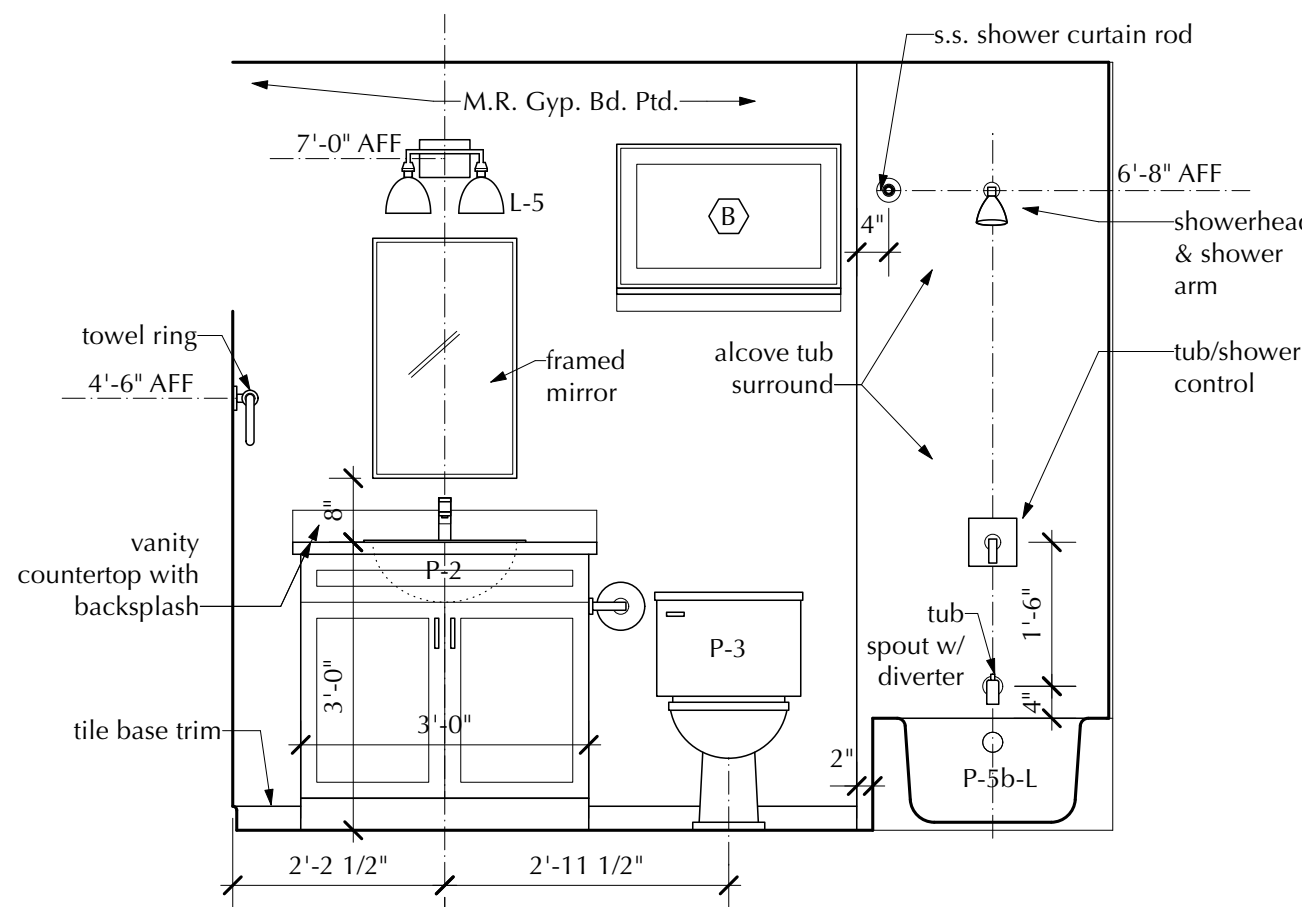
**1C BATH 1 (of Right Side Unit) | Int. Elev. | View of towel bar wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



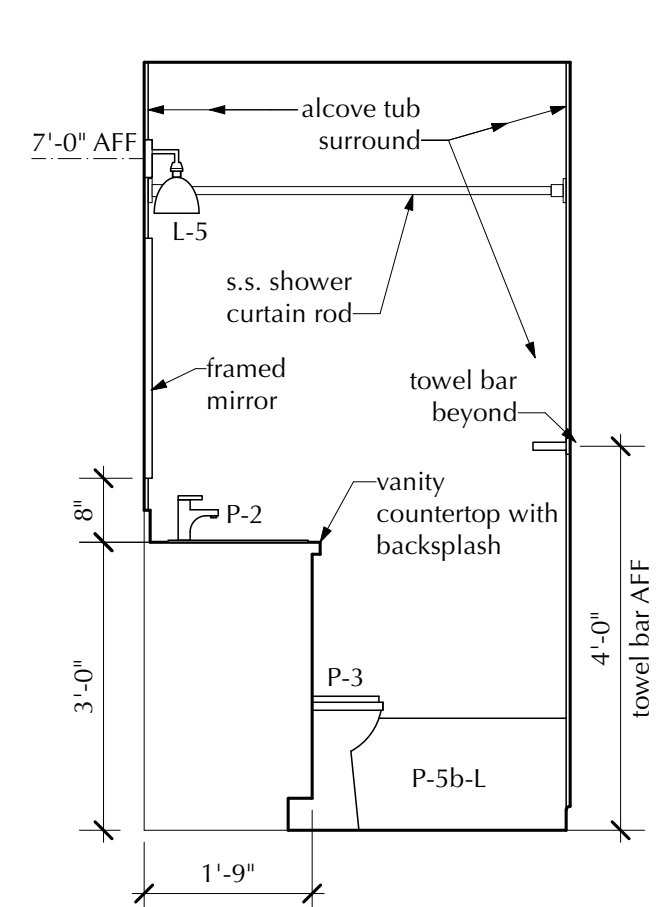
**1D BATH 1 (of Right Side Unit) | Int. Elev. | View of door wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



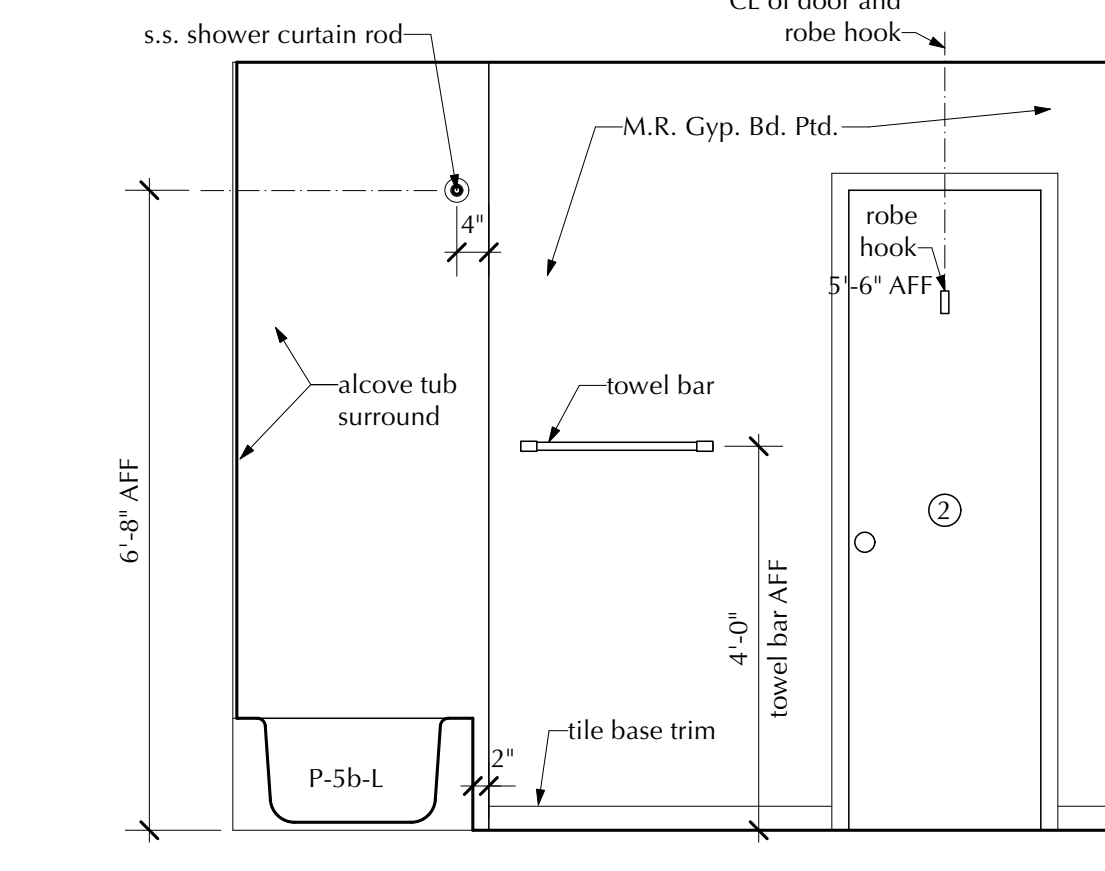
**2 BATH 2 (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



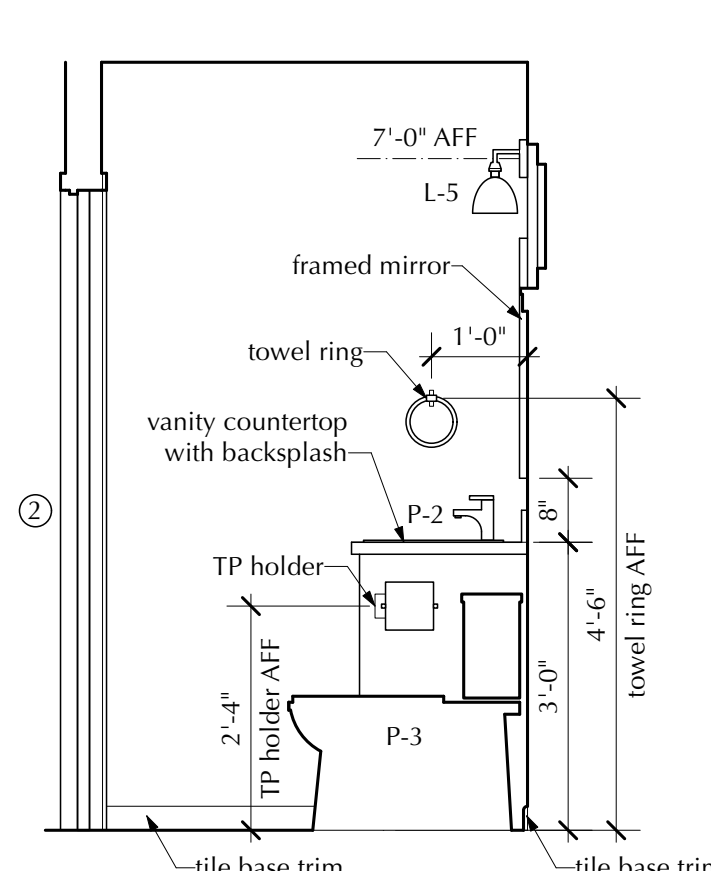
**2A BATH 2 (of Right Side Unit) | Int. Elev. | View of Wet wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



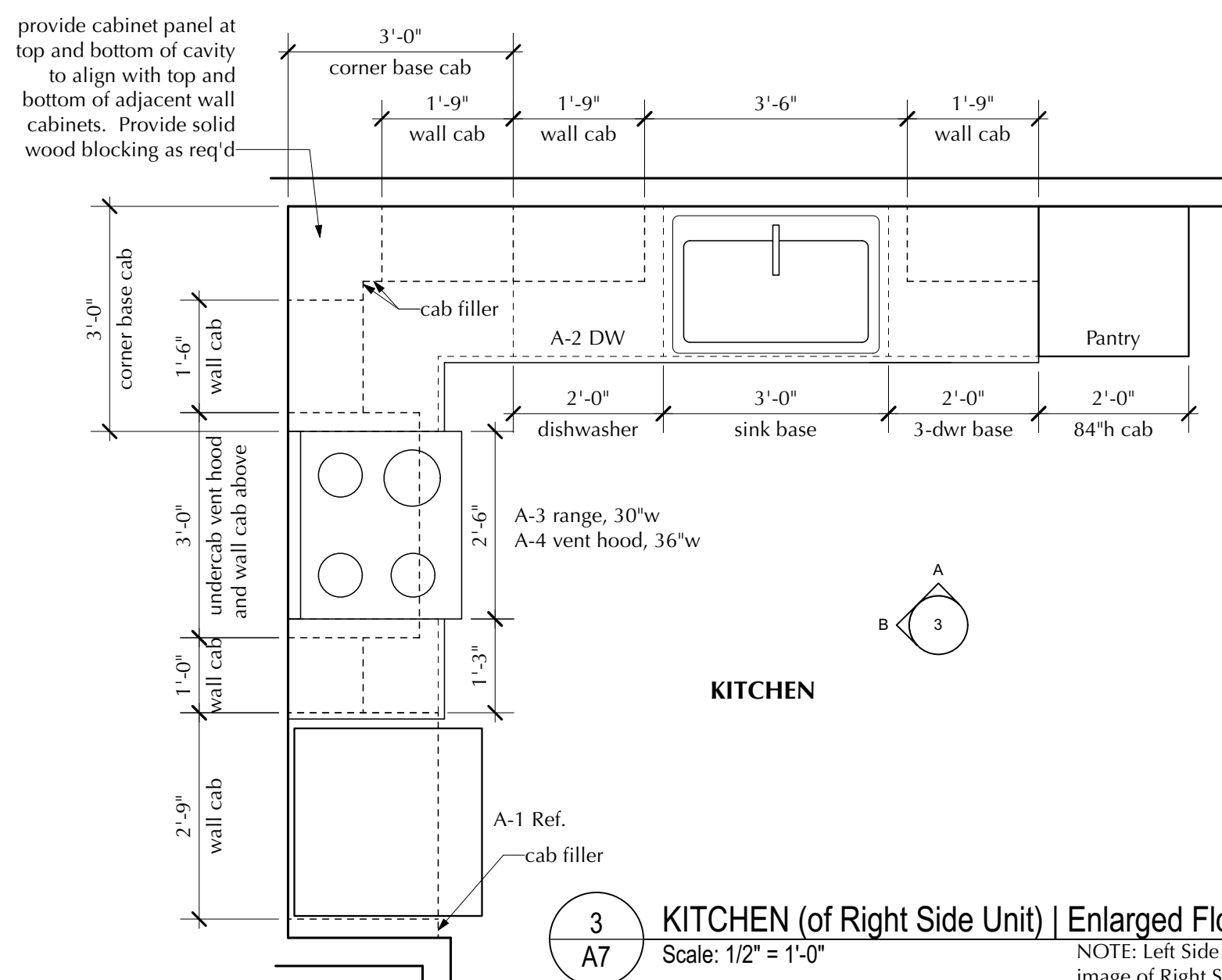
**12 BATH 2 (of Right Side Unit) | Int. Elev. | View of Tub Alcove**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



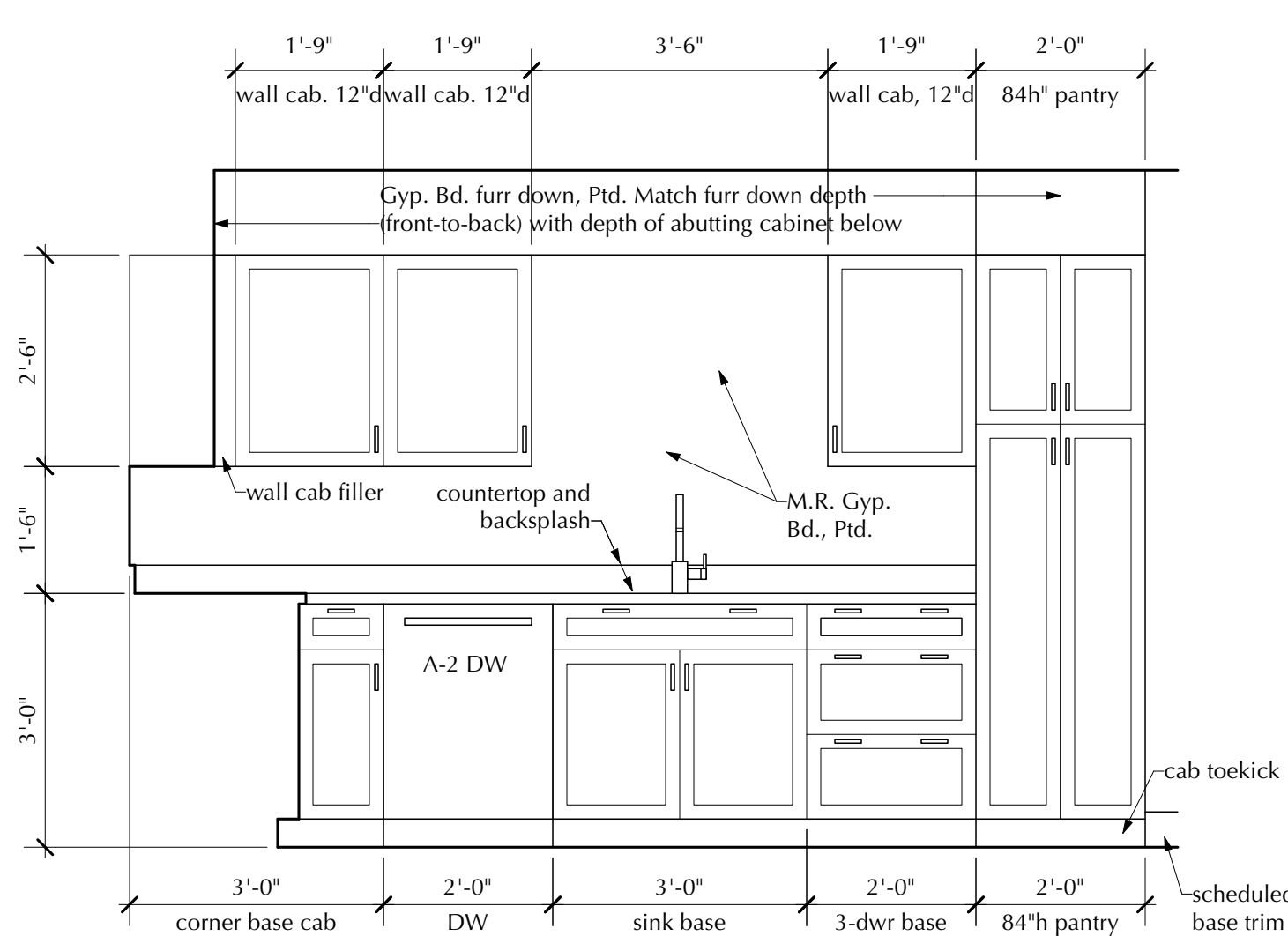
**2C BATH 2 (of Right Side Unit) | Int. Elev. | View of door wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



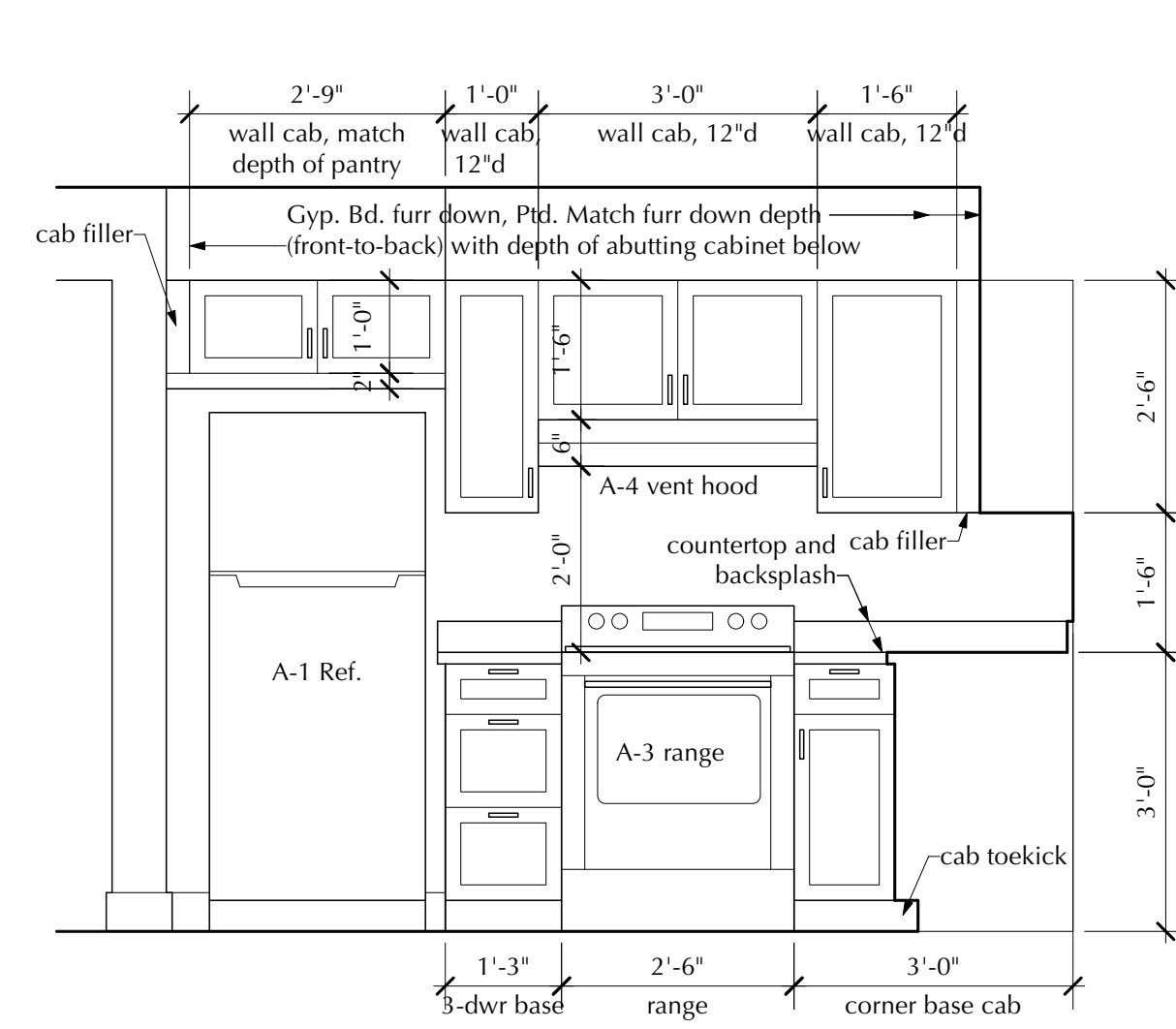
**2D BATH 2 (of Right Side Unit) | Int. Elev. | View of end wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



**3 KITCHEN (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



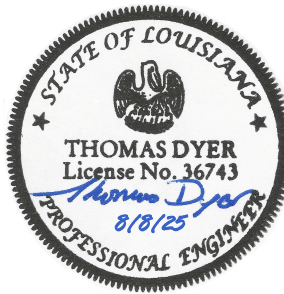
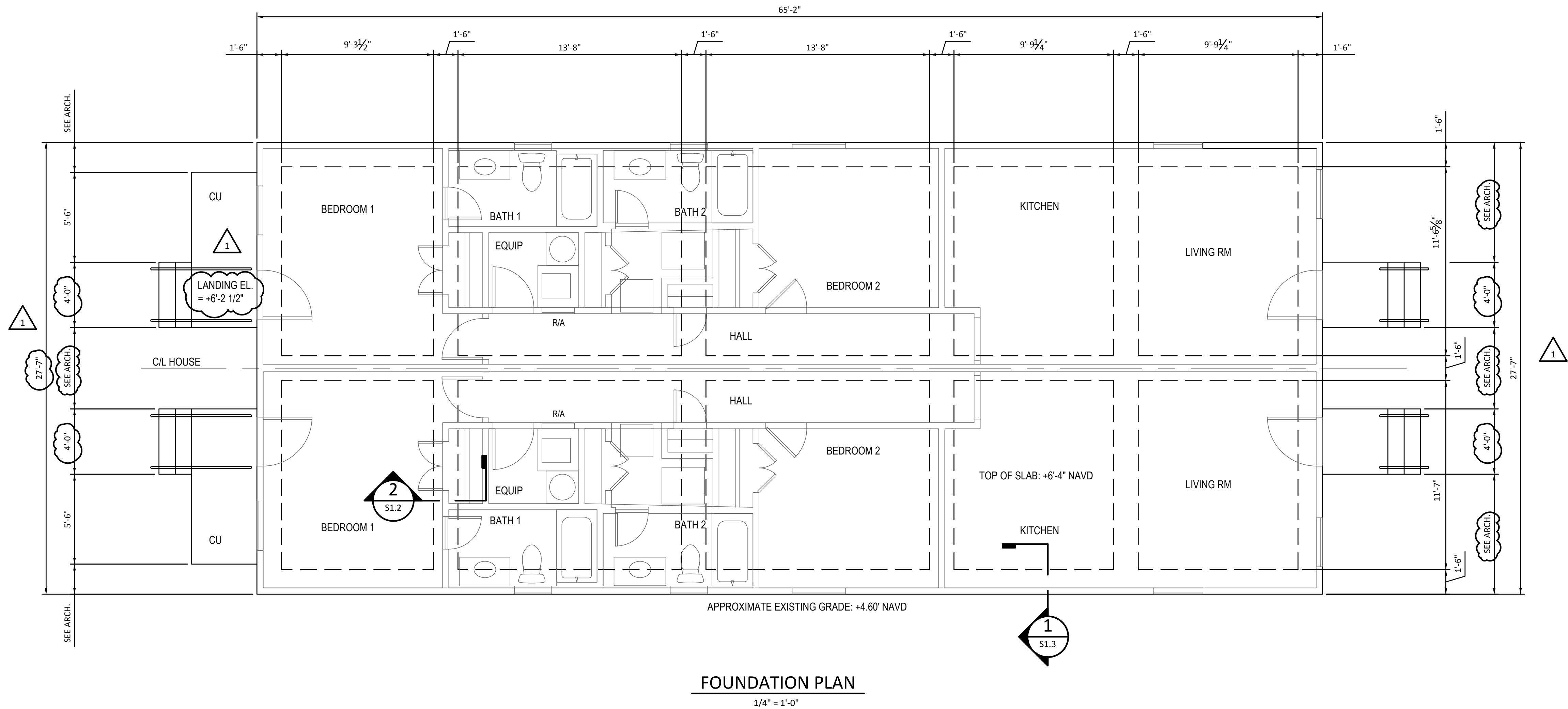
**3A KITCHEN (of Right Side Unit) | Int. Elev. | View Towards Exterior Wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit

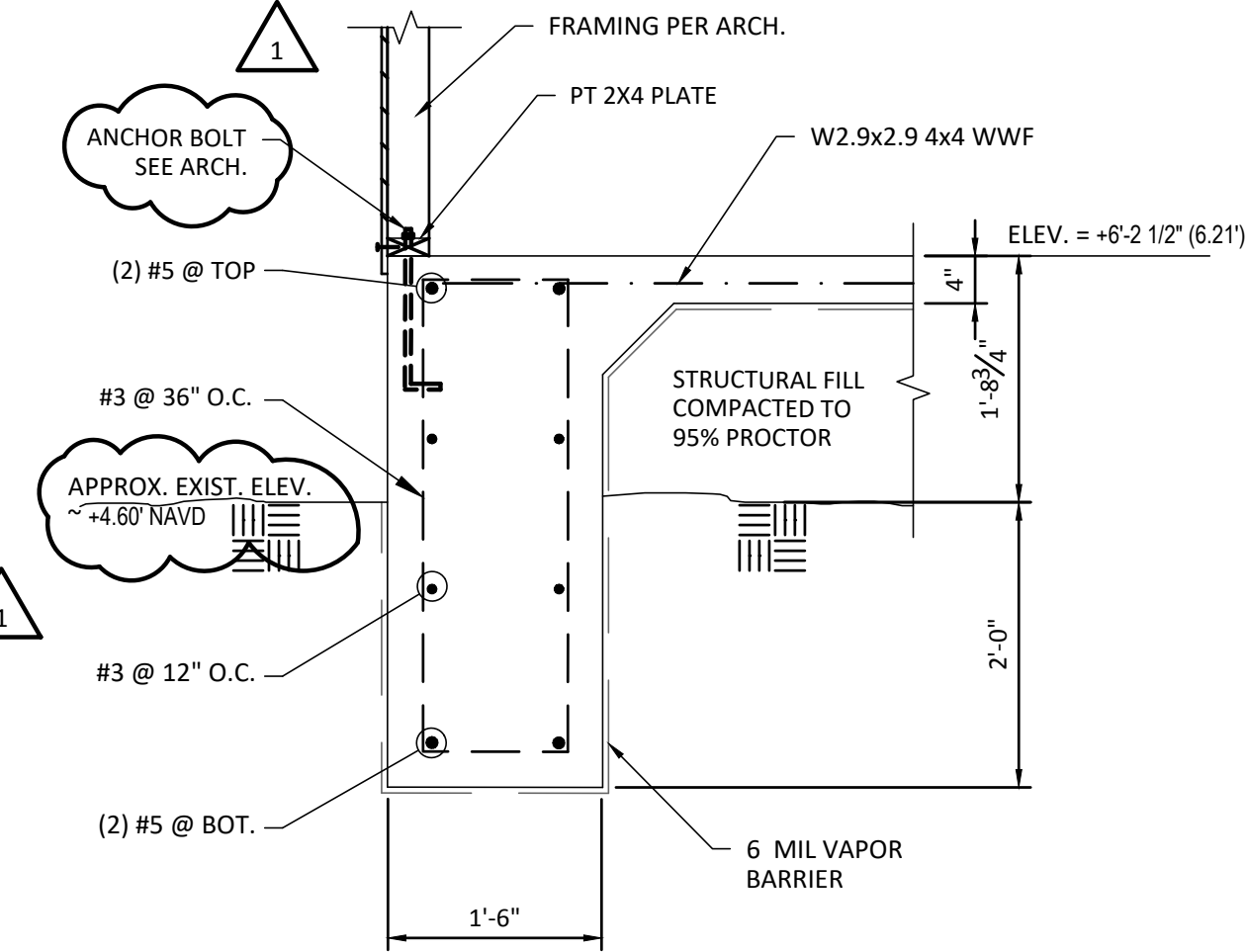


**3B KITCHEN (of Right Side Unit) | Int. Elev. | View Towards Hall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit

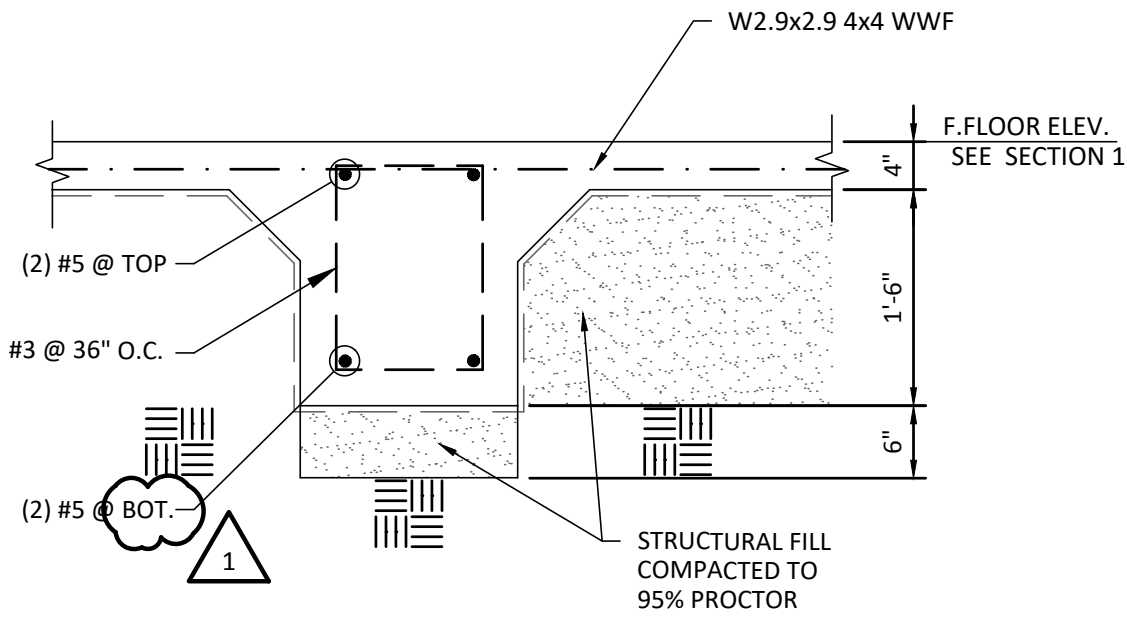
NOTE: If the cabinet layouts shown on this drawing sheet differ from the cabinet layouts shown on Sheet A1, the cabinet layouts shown on this drawing sheet shall govern.



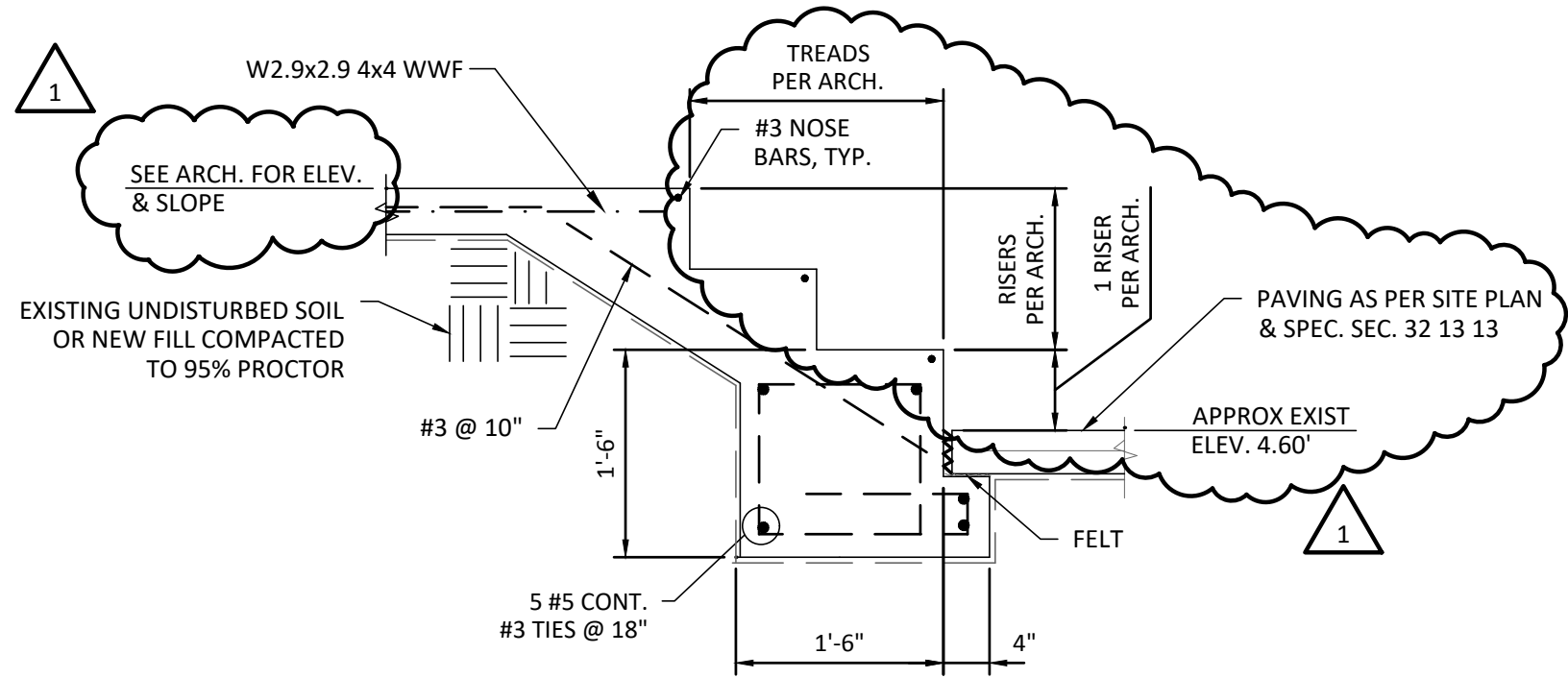




SECTION 1  
3/4" = 1'-0"



SECTION 2  
3/4" = 1'-0"



SECTION 3  
3/4" = 1'-0"

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF:  
AMERICAN CONCRETE INSTITUTE (ACI) LATEST EDITION  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) LATEST EDITION  
AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS (ASCE) LATEST EDITION  
AMERICAN FOREST AND PAPER ASSOCIATION NDS LATEST EDITION
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES AND OVERHEAD POWER LINES IN THE AREA OF THE WORK AND NOTIFY THE OWNER OF ANY INTERFERENCES BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND ELEVATIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (+/-) ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS IN THE FIELD.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (N.T.S) ARE NOT SHOWN TO SCALE
- THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED UNTIL CONSTRUCTION IS COMPLETE.

DESIGN LOAD CRITERIA:

CONCRETE, STRUCTURAL STEEL MEMBERS AND CONNECTIONS ARE DESIGNED PER IBC 2021 AND ASCE 7-22 BY ALLOWABLE STRESS DESIGN AND LRFD

LIVE LOADS:

1ST FLOOR = 40 psf  
ROOF = 20LBS/SQFT

WIND LOAD DATA:

PER ASCE 7-22 3-SEC PEAK GUST MPH  
ENVELOPE  
OPEN  
RISK CATEGORY II  
WIND SPEED = 139 MPH  
WIND EXPOSURE B  
INTERNAL PRESSURE COEFFICIENT +/- 0.55  
COMPONENTS AND CLADDING:  
ROOF = + ZONE 1 = +18.66/-29.64  
= + ZONE 2 = +18.66/-60.37  
= + ZONE 3 = +18.66/-66.98  
= + ZONE 2 + 3 WIDTH = 5 FT

SEISMIC LOAD DATA:

SITE CLASS D  
SMS = 0.15  
SM1 = 0.13  
SDS = 0.097  
SD1 = 0.085

CONCRETE NOTES:

- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
  - ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
  - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
  - ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- CONCRETE ADMIXTURES SHALL NOT BE USED WITHOUT OWNER PRIOR APPROVAL.
- PROVIDE ANCHOR/RODS BOLTS CONFORMING TO ASTM F1554 GRADE 36, HEAVY HEXAGON NUTS CONFORMING TO ASTM A563 AND WASHERS CONFORMING TO F436. GALVANIZE BOLTS, NUTS, SLEEVES AND WASHERS IN ACCORDANCE ASTM A153. REINFORCING BARS SHALL CONFORM TO ASTM A615 REQUIREMENTS FOR GRADE 60 DEFORMED BARS. DETAILING & FABRICATION SHALL BE IN ACCORDANCE WITH ACI 315.
- THE CONTRACTOR SHALL POUR (4) CONCRETE TEST CYLINDERS, PER 50 CY IN ACCORDANCE WITH ASTM C31 AND TEST THE CYLINDERS IN ACCORDANCE WITH ASTM C39. PROVIDE THE TEST RESULTS TO THE ARCHITECT. SEE SPEC. SEC. 01 45 23 - TESTING LABORATORY SERVICES.
- STRUCTURAL COLUMN BASE PLATES SHALL BE GROUTED USING NON SHRINK CEMENT GROUT BY FIVE STAR PRODUCTS INC. OR APPROVED EQUAL.
- CONCRETE SHALL BE CURED IN ACCORDANCE WITH ACI 318 AND 308R.
- ALL SPLICES AND DEVELOPMENT LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, SECTION 12, "BUILDING CODE REQUIRED FOR STRUCTURAL CONCRETE" ALL SPLICES SHALL BE CLASS "B", UNLESS APPROVED OTHERWISE.

EARTHWORK NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE IN PERFORMING ALL EARTH WORK IN ACCORDANCE WITH SPECIFICATION 2200.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR MAINTAINING THE STABILITY OF ALL EXCAVATED FACES IN COMPLIANCE WITH OSHA REQUIREMENTS UNTIL FINAL ACCEPTANCE OF THE WORK.
- ALL LIFTS SHALL BE HEAVILY PROOF-ROLLED WITH A MODERATELY HEAVY LOADED PNEUMATIC ROLLER. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOADS SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED FILL.  
**BACK FILL:**
- SHALL BE A CLASSIFIED AS CL, SP OR SP-SM. CL SHALL HAVE A LL LESS THAN 40 AND PLASTICITY INDEX BETWEEN 12 AND 22. SAND SP SHALL HAVE LESS THAN 10% PASSING THE 200 SIEVE.
- ALL FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 9 INCHES AND COMPACTED TO 95% MODIFIED PROCTOR.
- EXCESS EXCAVATED MATERIAL AND/OR UNUSED BACK FILL MATERIALS SHALL BE REMOVED AND HAULED TO AN AREA DESIGNATED BY OWNER.
- WASHED SAND SHALL COMPLY WITH ASTM C33 FOR FINE AGGREGATE CONCRETE SAND.
- SOIL BEARING CAPACITY = 2000 psf  
SOIL TYPE #17 PER JEFFERSON PARISH SOIL MAPS



Abv.	ABOVE
A/C	AIR CONDITIONING
ADA	AMERICANS WITH DISABILITIES ACT
Aff	ABOVE FINISHED FLOOR
ASF	ABOVE SUB-FLOOR
AHU	AIR HANDLING UNIT
Alum.	ALUMINUM
Approx.	APPROXIMATE(LY)
Apt.	APARTMENT
Arch.	ARCHITECT(URAL)
ARRA	AMERICAN RECOVERY AND REINVESTMENT ACT
ASF	ABOVE SUB-FLOOR
A.T.	ALUMINUM THRESHOLD
Bd.	BOARD
BFE	BASE FLOOD ELEVATION
Bldg.	BUILDING
Blk.	BLOCK (ING)
Bm.	BEAM
Btm.	BOTTOM
Btwn.	BETWEEN
Cab.	CABINET
Cem.	CEMENT
CJ	CONTROL JOINT
CL	CENTERLINE
Clg.	CEILING
CMU	CONCRETE MASONRY UNIT
Col.	COLUMN
Conc.	CONCRETE
Cont.	CONTINUOUS
Cu Yds	CUBIC YARDS
D	DRYER
DbI.	DOUBLE
Demo.	DEMOLISH, DEMOLITION
Diag.	DIAGONAL
Dim.	DIMENSION
DN	DOWN
Dr.	DOOR
DS	DOWNSPOUT
Detl.	DETAIL
DW	DISHWASHER
DWG	DRAWING
E	ELECTRICAL DRAWINGS AND SPECIFICATIONS
EIFS	EXTERIOR INSULATING FINISH SYSTEM
EJ	EXPANSION JOINT
Elec.	ELECTRIC(AL)
Elev.	ELEVATION
EQ	EQUAL
Exist.	EXISTING
Ext.	EXTERIOR
FE	FIRE EXTINGUISHER
FJ	FINGER-JOINED PINE OR FIR
Ft.	FOOT (FEET)
Galv.	GALVANIZED
GFI	GROUND FAULT CIRCUIT INTERRUPTER
Gyp.	GYPSUM
HB	HOSE BIB
HC	HOLLOW CORE
HM	HOLLOW METAL
Ht.	HEIGHT
HVAC	HEATING/VENTILATING/AIR CONDITIONING
IBC	INTERNATIONAL BUILDING CODE, 2021 EDITION
ID	INNER DIAMETER
In.	INCHES
Insul.	INSULATION, INSULATING
Int.	INTERIOR
IRC	INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION

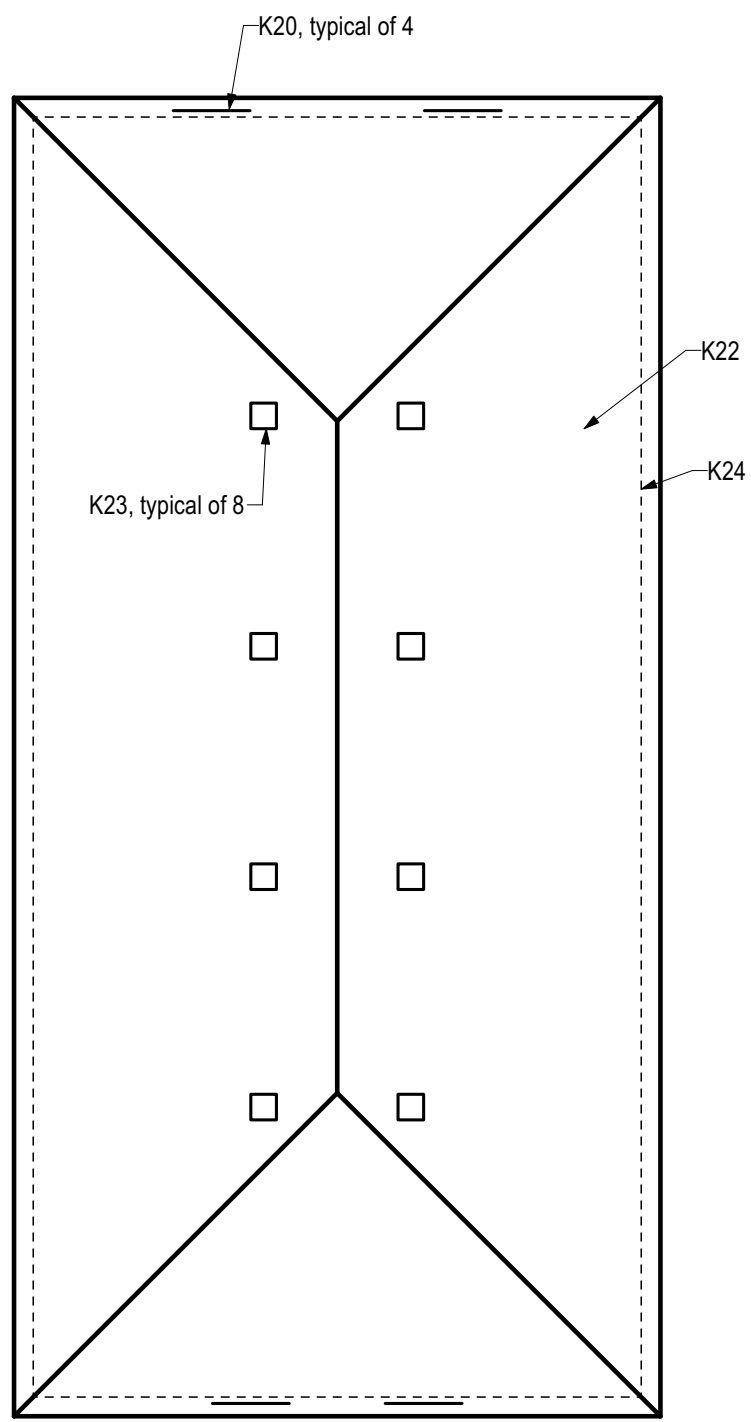
1. The Contractor shall verify all relevant dimensions and field conditions before proceeding and shall notify the Architect of any discrepancies between existing field conditions and how they are portrayed in these drawings. The Contractor shall verify the fit of all proposed construction.
2. Provide final cleaning of the project area as per Specification Section 01 77 00.
3. The Contractor shall make a reasonable effort to prevent hazards & inconveniences to neighbors and the general public. The Contractor shall make a reasonable effort to provide for the safety of persons on the public right of way(s) adjacent to the site and shall secure any necessary permits for barricades, signs, covered walks or other safety features. Such safety features, as deemed to be reasonable, shall be within the Contractor's scope of work.
4. Construction means and methods shall be the responsibility of the Contractor.
5. All materials, fixtures, etc. shall be new unless otherwise specified and shall be handled & installed according to all of the manufacturers' instructions & recommendations. Should the Contractor discover an apparent discrepancy between the manufacturer's instructions & recommendations and the Project Drawings and/or Project Specifications, the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
6. The Contractor shall acquire all the required permits to perform the work, and the work shall comply with all applicable codes & laws. Should the Contractor discover an apparent discrepancy between applicable codes & laws and the Project Drawings and/or Project Specifications the Contractor shall bring the discrepancy to the Architect's attention as soon as feasible.
7. The Contractor shall promptly notify the Architect if any discrepancies within the Contract Documents are discovered. In the absence of prompt feedback from the Architect, the Specifications documents shall take precedence over the Drawings. If there are apparent discrepancies within the Drawings and/or Specifications that are not clarified by the Architect prior to the submission of bids for construction, the construction bid amount shall be for the most costly of the apparently conflicting work items.
8. For all houses with two living units that are mirror images of each other, all items shown and noted for one of the living units shall also apply to the other living unit.

CONSTRUCTION TYPE: Light wood frame with no fire suppression system. IBC Type Vb.  
OCCUPANCY TYPE: Residential, one- or two- family dwelling.  
BUILDING GROSS INTERIOR FLOOR AREA: as indicated on Site Plan.

BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE (IRC), 2021 Edition, as modified by any Jefferson Parish amendments and as modified by any State of Louisiana amendments.

1. For work in the public right-of-way, comply with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
2. Paving within the Lot boundaries shall be 5" thick and reinforced with 6"X12" (wire spacing) highway mesh, 0/1 gauge. Mesh shall be at mid-height of concrete thickness.
3. Concrete formulation and performance shall match that required by Jefferson Parish for driveway aprons; see the three (3) Appendix drawing sheets.
4. Minimum side yard setback requirement is five feet, and minimum distance of new combustible construction to any property line is five feet. Non-combustible, un-roofed construction (e.g.: a concrete stair with metal handrails) is allowable within required yard spaces.
5. The finish surface of paving within the Lot shall match the finish surface of the new paving in the public right-of-way, which shall be in compliance with Jefferson Parish regulations as shown on the three (3) Appendix drawing sheets.
6. All areas on the Lot that are not covered with paving, planting beds, or the new house shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
7. All unpaved areas between the Lot and the paved vehicular street shall be covered in turf grass. Provide new turf grass sod as required for full coverage.
8. Provide river sand fill under paving as required to achieve the specified elevations.
9. Provide fill as required to fill any low spots on the site.
10. The Contractor shall maintain the site (including the entire Lot and all portions of the adjacent public right-of-way between the Lot and the paved vehicular street paving) for the duration of the Contract Period. This maintenance shall include grass cutting.
11. Plant grass sod wherever existing grass is damaged by Contractor's activities, including traffic (foot traffic and vehicular traffic), temporary facilities, excavation, and storage. As preparation, loosen soil where compacted and add backfill as required to eliminate low spots.
12. Plant grass sod wherever new backfill is provided without a cover of new paving or new ornamental planting.

EP:	Edge of new paving. Provide trowelled radius edge.
AL:	Align paving edge with other construction as shown.
CJ:	Control joint, typical (shown as dotted line). Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CJP:	Control joint along property line. Joint type shall be the same as required by Jefferson Parish for sidewalks and driveway aprons; see the three (3) Appendix drawing sheets.
CLF:	New chain link fence assembly.
L:	New concrete landing at bottom of stair. New concrete paving abutting lowest stair riser shall be at elevation such that the vertical dimension of lowest riser shall be equal to the vertical dimension of upper stair risers. Provide expansion joint with fiber joint filler strip between paving and stair. Slope paving surface 3/16" per foot away from house.
P@stair:	New paving abutting lowest stair riser shall be at elevation such that the vertical dimension of lowest riser shall be equal to the vertical dimension of upper stair risers. Provide expansion joint with fiber joint filler strip between paving and stair.
S316:	Slope 3/16" per foot.
SR:	Slope as required. In the public right-of-way, comply with Jefferson Parish slope requirements; see the three (3) Appendix drawing sheets.
FL:	Surface of new driveway apron flush with surface of existing street paving.



2 Roof Plan  
G1 Scale: 1" = 10'-0"

Flood Zone: AE  
BFE: +3.00'  
EL. @ centerline of street: +1.90' NAVD  
EL. @ Lot: +1.70' NAVD  
Min. requirement for new Conc. slab Elev.: +4.00' NAVD (1' freeboard over BFE)  
Specified new Conc. slab Elev.: +4'-1" NAVD.

**OWNER:**  
Jefferson Parish Housing Services Development District (JPHSDD)  
121 Paillet Drive, Harvey LA 70053  
office phone: (504) 342-4475

**ARCHITECT:**  
Volume Zero LLC  
Michael Cajski, Project Architect  
1034 Joliet St., New Orleans LA 70118-1164  
office phone: (504) 864-9909  
michael@volumezero.com

**CIVIL/STRUCTURAL ENGINEER:**  
Kyle Associates LLC  
638 Village Lane N, Mandeville LA 70471  
Thomas Dyer, Project Engineer

	GENERAL (G)
G1	Index of Drawings, Site Plan, Roof Plan, Miscellaneous Notes
	ARCHITECTURAL (A)
A1	Floor Plan, MEP Plan
A2	Finish Schedule, Symbol Legends, Key
A3	Miscellaneous Schedules
A4	Building Section, Exterior Elevations
A5	Details, including building envelope details
A6	Details, including stair and railing details
A7	Interior Elevations

	STRUCTURAL (S)
S1.1	Foundation Plan
S1.2	Foundation Notes & Details

LANDSCAPE (LS)
LS1 Landscape Plan & Planting Schedule

Jefferson Parish  
Housing Services Development District

Dorian Rawles, Executive Director

Volume **(Zero)**  
architectural design studio

1034 Joliet Street  
New Orleans, LA 70118  
504-864-9909 phone  
504-864-9983 fax

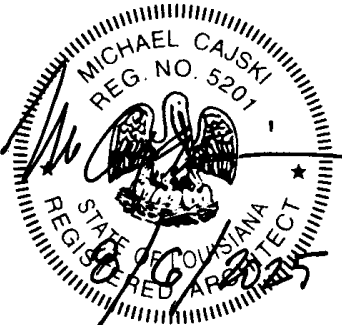
a limited liability company

Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002

**NEW HOUSE AT 6100A & 6100B FIFTH AVENUE  
MARRERO, LOUISIANA**

Issue and print dates:

07/23/2025 - Bidding Documents  
08/06/2025 - Revision 01

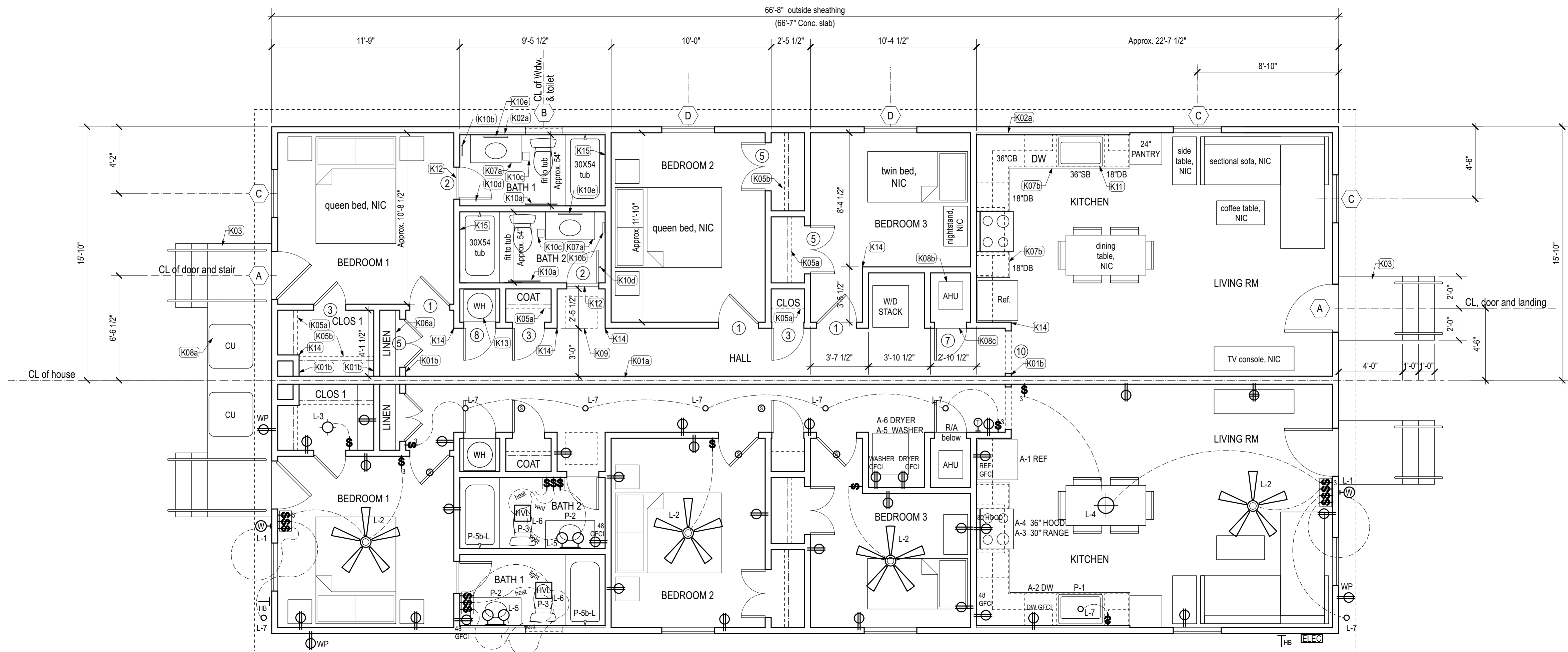


Vol. 0 Project No. 25-006  
drawn by MC

sheet no.

# G1

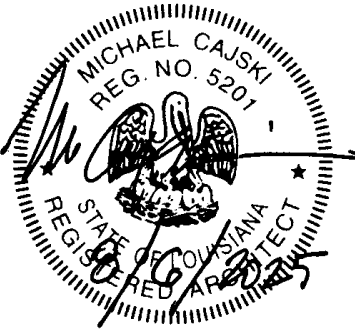




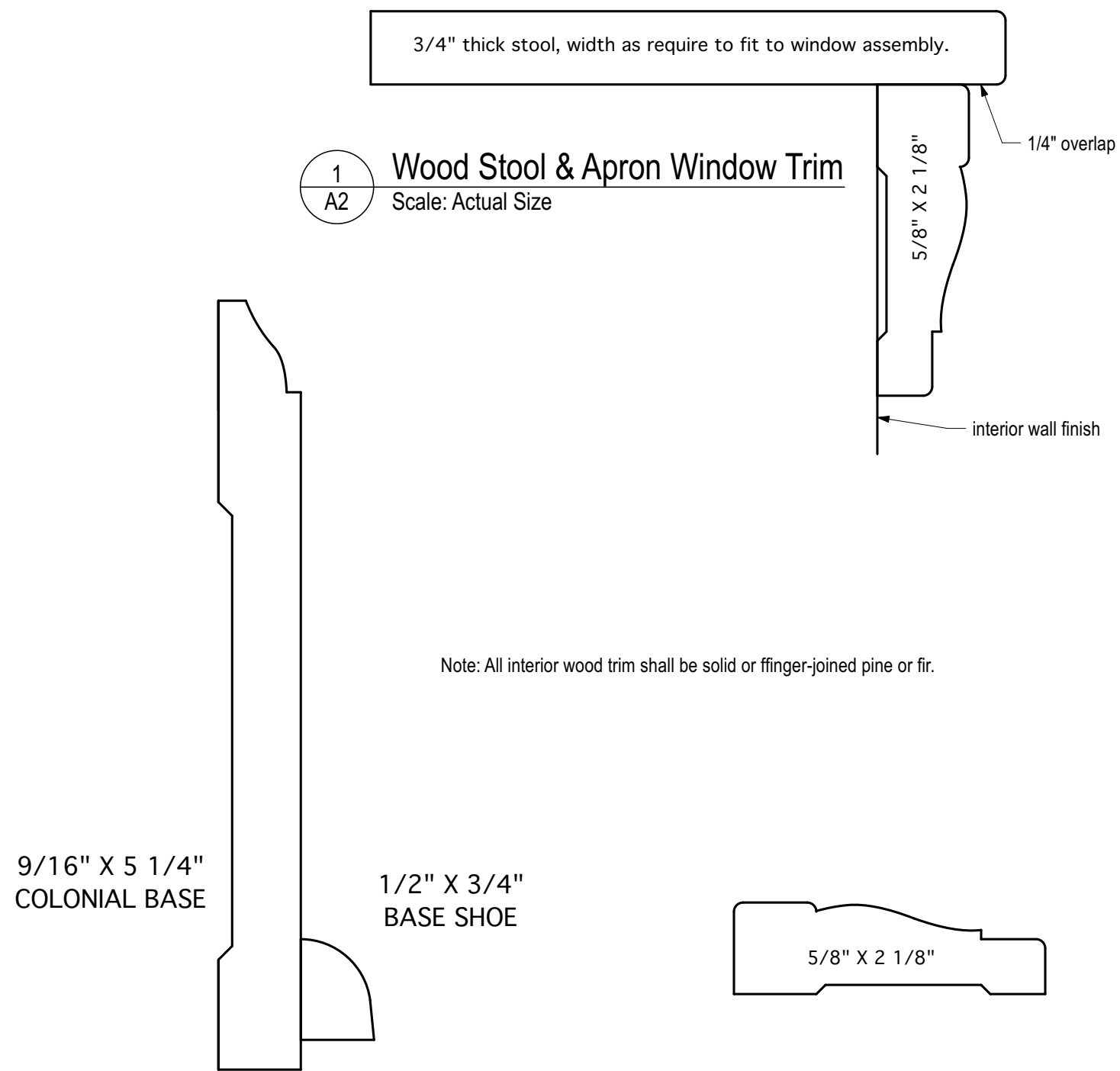
1 Floor Plan and MEP Plan  
A1 Scale: 1/4" = 1'-0"

Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002  
NEW HOUSE AT 6100A & 6100B FIFTH AVENUE  
MARRERO, LOUISIANA

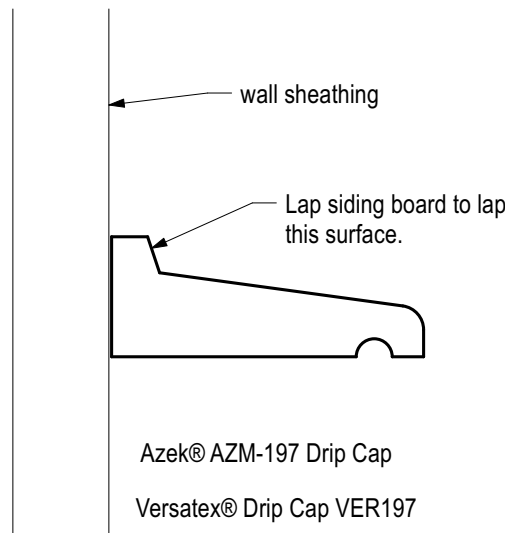
Issue and print dates:  
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2 Wood Wall Base Trim, Type B1  
Scale: Actual Size

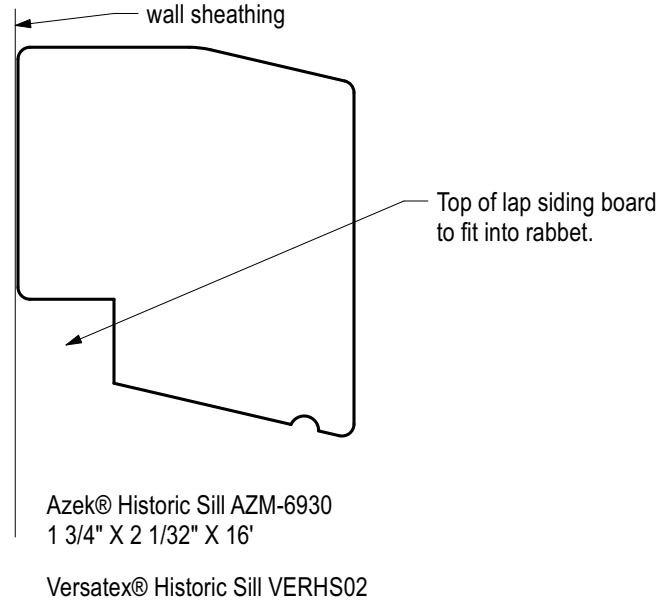


4 PVC Exterior Drip Cap  
Scale: Actual Size



6 Door Type A Elevation  
Scale: not to scale

3 Wood Case Trim, Type C1  
Scale: Actual Size



5 PVC Exterior Window Sill  
Scale: Actual Size

## LIGHTING FIXTURE SYMBOL LEGEND

	wall sconce, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	surface-mounted ceiling light fixture, UL-rated for wet locations, integral LED, dusk-to-dawn photocell with manual switch override
	recessed ceiling light fixture w/o housing, UL-rated for wet locations, integral LED, selectable CCT
	surface-mounted ceiling light fixture
	surface-mounted ceiling light fixture
	ceiling fan with light kit
	vanity wall sconce, UL-rated for damp locations
	heater-vent-light, UL-rated for wet locations, vent wired to a timer dial switch. Light switched with vanity light fixture. Duct bath fan to exterior.

## MECHANICAL SYMBOLS LEGEND

	HVAC return air grille, 24" X 24" unless noted otherwise – white factory finish on aluminum.
	ceiling-mounted HVAC air supply diffuser with adjustable louvers – white factory finish on aluminum, sized as required.
	vertical air handling unit w/ electric resistance heater, The central HVAC system shall have 14 SEER minimum efficiency. Provide overflow drain pan and drain pipe to exterior.
	HVAC outdoor unit. The central HVAC system shall have 14 SEER minimum efficiency.
	digital programmable thermostat

## DOORBELL BUTTON AND CHIME

At each living unit, provide one hardwired doorbell & chime assembly. The doorbell shall be located at the front door jamb trim. The chime shall be located in the hallway. Confirm exact installation locations with Architect. Doorbell button product: Utilitech model UT-729-00. Chime with transformer product: Utilitech model UT-2796-02.

## ELECTRICAL SYMBOLS LEGEND

	switch
	3-way switch
	ganged switches and wall plate
	duplex outlet receptacle
	quadplex outlet receptacle
	UL-rated waterproof duplex outlet receptacle, recessed in wall
	duplex outlet receptacle with ground fault circuit interrupter
	duplex outlet receptacle with ground fault circuit interrupter located at xx height in inches AFF
	duplex outlet receptacle for a named appliance with ground fault circuit interrupter located at xx height in inches AFF
	new ceiling mounted smoke detector and carbon monoxide detector, hard-wired with battery back-up
	electrical main service panel and electrical meter. Proposed location is shown. Notify Archtitect if other location is deemed by the Electrical contractor or the Electrical utility company to be more advantageous.

## PLUMBING SYMBOLS LEGEND

	drop-in stainless steel single-compartment kitchen sink with single-hole kitchen faucet and drain
	drop-in lavatory sink with single-hole lavatory faucet and push drain
	2-piece elongated toilet with toilet seat, 12" rough-in
	alcove tub w/ tub/shower controls and drain
	alcove shower pan w/ shower controls and drain
	hose bibb with backflow preventer, brass construction
	new electric water heater on drain pan. Water heater: AO Smith 100 series with 6-year warranty. At 2-bedroom units, provide 80 gallon size. At 3-bedroom units, provide 55-gallon size. Drain pan: American Built Pro® WHP22GS-1D. Provide emergency overflow drain pipe to exterior. Verify fit of water heater and drain pan.

## NOTES ON CERAMIC TILE

Basis-of-design product: Manufacturer/Brand: Style Selections (available through Lowe's home improvement stores) collection: Futuro White slip-resistant porcelain tile sizes / formats: 12" X 24" floor tile and 3" X 12" bullnose wall base tile. finish / color: matte / white

Provide submittal documents and samples as per Specification Section 01 33 00.

Provide manufacturer's standard warranty.

Provide thinset mortar/adhesive and grout as per manufacturer's instructions and recommendations.

## NOTES ON SHOWER SURROUNDS

- Shower surrounds shall extend vertically from the top of the tub or shower floor to an elevation 84" minimum above the bathroom finished floor.
- Shower surrounds shall be an alcove configuration. Surround lengths shall correspond to tub or shower pan lengths. Shower surround depths shall exceed tub or shower pan depths by 2" as shown in the Interior Elevations
- Each shower surround shall include at least one soap dish/shelf at a location approved by the Architect.
- Provide silicone sealant all around surround and between surround panels if applicable. Sealant color shall be as approved by Architect.
- Shower surrounds shall be one of two types as indicated below. Color/pattern shall be as approved by Architect.
  - Seamless acrylic: Pemafit™ as manufactured by Bath Fitter®, www.experiencebathfitter.com.
  - Cultured marble panels with subway tile pattern as manufactured by Plantation Marble, 5791 River Road, New Orleans LA 70123, www.plantationmarblenola.com.
- Fit shower surround assembly to other new construction, including plumbing items and walls.
- The terms "shower surround", "tub surround", and "bathtub surround" are interchangeable in the Contract Documents.
- At each shower surround, provide one commercial-grade stainless steel shower curtain bar: Moen Donner Commercial Collection model CS136-5-SS.

## KEY NOTES

(especially keynotes relevant to Floor Plan)

K01a: Fire-rated demising wall with acoustic insulation: UL Design U340, Gypsum Association File No. WP 3371. See Details. Provide firestopping as required for 1-hour fire separation at all penetrations; all such firestopping shall be certified for use in a 1-hour rated partition by the Contractor's firestopping materials/assemblies manufacturer; Hilti or equal. Acoustic insulation shall be sound attenuation fire blanket as per Spec Sec 07 21 16. See Drawing 2/A5.

K01b: Intersection of typical interior wall with fire-rated demising wall. Gypsum board shall be continuous at demising wall. Install framing of typical interior wall over gypsum board of demising wall.

K02a: Provide 2X2 furring on wall studs; total thickness of wall framing shall be 6". If furring is at demising wall, install furring members over gypsum board of demising wall.

K02b: Furr out wall as required for construction materials/assemblies to fit as shown. If furring is at demising wall, install furring members over gypsum board of demising wall.

K02c: Provide 2X4 furring on wall studs. If furring is at demising wall, install furring members over gypsum board of demising wall.

K03: Concrete landing and stair and handrails. See other drawings, including Structural.

K04: Sound blocking wall assembly: 2X6 plates, 2X4 staggered studs @ 12" OC (at 24" OC on each side of wall). Provide acoustic insulation; acoustic insulatin shall be sound attenuation fire blanket as per Spec Sec 07 21 16.

K05a: Vinyl-coated wire shelving in bedroom closet or coat closet. Rubbermaid® Expandable Closet Kit, 2-4-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05b: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 3-6-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05c: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 4-8-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K05d: Vinyl-coated wire shelving in bedroom closet. Rubbermaid® Expandable Closet Kit, 6-10-ft. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06a: Vinyl-coated wire shelving in pantry, closet, or storage room. 4 shelves, 12" deep. Provide solid wood blocking or other framing for anchoring shelving system to wall.

K06b: Vinyl-coated wire shelving above washer and dryer. 1 shelf, 12" deep. Length to fit space as shown.

K07a: Countertop at vanity. Provide cut-out(s) as required for plumbing item(s).

K07b: Kitchen countertop. Provide cut-out(s) as required for plumbing item(s).

K07c: not used.

K08a: HVAC exterior equipment on concrete platform. Provide feet or pad as required to comply with Jefferson Parish flood elevation requirements.

K08b: HVAC interior equipment on plywood platform. Top of platform shall be 36" above concrete slab. Platform floor assembly shall be 4" t hick, 1/2" plywood on 2X4 framing.

K08c: Return air grille, located above wall base trim and below HVAC equipment platform assembly.

K09: Attic access hatch, insulated and lockable. Provide framed opening as per manufacturer's instructions and recommendations. Provide keys to Owner. The Williams Brothers Corporation of America model WTB AL 1500 20X20.

K10a: Towel bar assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall. Bar length as indicated on drawings.

K10b: Towel ring assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10c: Toilet paper holder assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10d: Robe hook assembly. Product line: Franklin Brass "Calloway" with polished chrome finish. Provide solid wood blocking or other framing for anchoring to wall.

K10e: Mirror: Bobrick B-165 1830 with polished stainless steel frame. Center over lavatory and faucet.

K11: Fire extinguisher in under-sink cabinet. First Alert Home1-A-10-B-C rechargeable fire extinguisher.

K12: Marble threshold.

K13: Electric water heater on drain pan. See Specification Section 11 30 13 – Residential Appliances.

K14: Wall corner guard, 16 gauge Type 304 stainless steel with brushed finish, 48" high x 1 1/2" x 1 1/2". Bottom of guard shall be 8" above the finished floor.

K15: Shower surround assembly at 3 sides of bathtub. See NOTES ON SHOWER SURROUNDS, this sheet. See Interior Elevations, Sheet A7.

K16-K19: not used

## KEY NOTES

(especially keynotes relevant to Roof Plan)

K20: Roof diverter, 4' long, centered over door, galvanized steel or aluminum with dark bronze factory finish. Install in compliance with Fortified™ roof requirements.

K21: Drip edge flashing all around roof perimeter, aluminum with white factory finish.

K22: Asphalt shingle roofing as part of a Fortified™ roof assembly.

K23: Louver vent at roof. 60 square inches of net free vent area each. GAF Master Flow Roof Louver SSB960AWF Metal Super Slant Back. Space louver vents at 8'-0" OC. Locate all louver vents 36" clear of ridge/line, measured horizontally (40 1/4" clear of ridge/line, measured along roof slope). Louver vent shall be compliant with Fortified™ roof requirements and shall be certified by the manufacturer to have passed the TAS 100 Standard Test for Wind and Wind Driven Rain Resistance of Discontinuous Roof Systems. Provide documentation of certification.

K24: Exterior face of house perimeter walls below.

K25-K29: not used

## KEY NOTES

(especially keynotes relevant to Exterior Elevations)

K30a: PVC drip cap. See full-scale detail drawings. Note that all drip caps are at the same elevation; install window heads at the correct elevation relative to exterior door heads in order to accomplish this alignment.

K30b: PVC sill. See full-scale detail drawings.

K31a: 5/4 X 4 HardiTrim fiber cement corner board, 3 1/2" face.

K31b: 5/4 X 4 HardiTrim fiber cement corner board, 1" edge.

K31c: 5/4X4 HardiTrim fiber cement case trim. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing. Note that top of 5/4 X 10 door case head trim aligns with top of 5/4 X 4 head case trims of windows. See Key note 30a regarding window unit head heights relative to exterior door head heights.

K31d: 5/4X10 HardiTrim fiber cement case trim at door head. Wherever trim is installed over a nailing fin, provide PVC shims of equal thickness to the nailing fin as required to install the case trim board face parallel to the face of wall sheathing.

K31e: 1X HardiTrim fascia at roof eave.

K32: Mailbox: Reliablitt metal standard mailbox, black, wall mounted, model #07-3068.

K33: Address numerals. Product option 1: Taymor Industries, Inc. 25-ANB6 Classic Aluminum House Numbers, 6 inches high, matte black. Product option 2: Reliablitt 6-in Black Numbers, model 33620PKBLG. Center numerals group on vertical centerline of door. Center numerals on horizontal centerline of door head trim board. Numerals shall correctly identify the municipal address of each living unit.

END OF "K" SERIES KEY NOTES

## SCHEDULE OF INTERIOR FINISHES

Room/Space Type	Typical Floor Finish	Typical Wall and Ceiling Finish	Typical Wall Base Trim	Typical Door Case Trim	Typical Window Trim
Living Room	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Kitchen	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bedroom	Vinyl Plank Flooring	Gypsum Board	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Laundry*/Equipment/Utility	Vinyl Plank Flooring	Gypsum Board, moisture-resistant	wood, Type B1	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Bathroom / Powder Room	Ceramic Tile	Gypsum Board, moisture-resistant	Ceramic Tile	wood, Type C1	wood stool & apron at sills, gypsum board returns at heads and jams
Miscellaneous closets	Match finishes of the room from which the closet is accessible.				

\*including Laundry closets and alcoves in addition to Laundry rooms

Note: Provide fire-rated gypsum board and other non-typical finishes wherever indicated in the drawings. Gypsum board shall be the moisture-resistant type at all wet walls, including Laundry and Kitchen wet walls.

Volume Zero

architectural design studio

Vol

1034 Joliet Street  
New Orleans, La 70118  
504- 864-9909 phone  
504- 864-9983 fax

a limited liability company

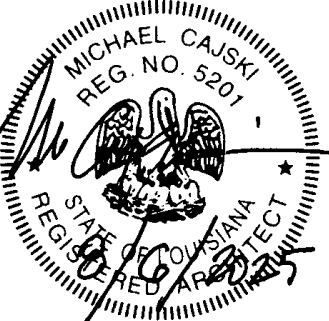
Jefferson Parish Housing Services Design District (JPHSDD)

ITB number 25-002

NEW HOUSE AT 6100A & 6100B FIFTH AVENUE  
MARRERO, LOUISIANA

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Vol. 0 Project No. 25-006

drawn by MC

sheet no.

A2



LIGHT FIXTURE SCHEDULE					
MARK	FIXTURE DESCRIPTION	FIXTURE MODEL NO.	LAMP DESCRIPTION	LAMP MODEL NO.	REMARKS
L-1	exterior wall/pendant surface-mounted LED fixture, dusk-to-dawn photocell, 3 CCT selectable, die-cast aluminum body and cage, frosted glare-free polycarbonate lens, powder-coated BRONZE finish, UL-listed wet locations, Energy Star rated, non-dimming, 120V	PROBRITE® AXIS: AXS12-3CCT-PC-BZ	12W LED (75W equiv), 1000 lumens, >80CRI, 50K hours	integrated LED, lamp included	Set CCT to WARM (3000K), install using dusk-to-dawn setting
L-2	42" flush-mount ceiling fan with light kit, reversible 3-speed motor, reversible airflow, 3-arm light w/ dimmable LED lamps included, pull-chain control, matte black housing, 5 matteblack/dark chocolate reversible easy-to-attach blades, 2857 CFM airflow, 15.22" h	Harbor Breeze® Coachman 42": 43305	(Qty of 3 lamps) Each lamp 5.5W LED A15, E26 base, 550 lumens, dimmable, included	replaceable LED, lamps included	install blades with dark chocolate side visible
L-3	exterior surface-mounted ceiling light 4.25" w X 8" h, E26 medium base lamp, incandescent 60W, aluminum body w/ black finish, opal glass shade, UL-rated wet locations	SATCO®   NUVO® : SF77-154	E26 base, 9W A19 LED (60W equiv replacement), 120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-4	exterior surface-mounted ceiling light 13" dia X 5" h, integral 23W LED, 3000K, aluminum body w/ black finish, frosted glass shade	Globe Electric® Mark®: 44658	23W integrated LED, 120V, 3000K, 2000 lumens, 80CRI, 30K hours, dimmable	integrated LED, lamp included	
L-5	wall-mounted vanity light, 2-lamp, matte black finish, UL-listed for damp location + glass shades (2 1/4" fitter) + (2) 60W A19 E26 lamps	Style Selections Mix and Match: VBK120-2CH + N284M (shades, 2 needed)	E26 base, 9W A19 LED (60W equiv replacement), 120V, 3000K, 760 lumens, >80CRI, 10K hours, non-dimming	SATCO® S11400 (10-pack)	
L-6	heater-vent-light, white, 80 CFM, 1.2 sones, 1300W heating element, LED light, 4" duct	Utilitech®: 7123-02-L	LED included		
L-7	4" Dia. exterior recessed light fixture w/ direct mount LED module w/ remote driver, IC and non-IC suitable, integral LED light, selectable CCT: 2700K, 90 CRI, UL-listed for wet locations, white baffle, 1200 lumens, 90 CRI, dimmable	HALO®: LCR4129FSED010MW	14.3W integral LED		

APPLIANCE SCHEDULE			
MARK	DESCRIPTION	MODEL NO.	REMARKS
A-1	Top freezer refrigerator 18.3 cu ft, nominal 28" w X 30.8" d, white, ADA-compliant, wire shelves, LED light	Frigidaire® FFTR1814WW	ALTERNATE: Frigidaire® FFHT1822, 17.6 cu ft, stainless steel, Energy star
A-2	24" dishwasher, front control, stainless steel w/ black, Energy Star rated, 59 DB, 3 cycles, 4 wash levels	Amana® ADFS2524RZ	install with braided stainless steel hose (not included)
A-3	30" freestanding electric range, glass top, stainless steel w/ black, Energy Star rated,	Whirlpool® WFES3030RS	
A-4	36" vent hood, ducted, stainless steel w/ black, ADA-compliant, 160-190 CFM, 6.5 sones, E26 base incandescent light	Broan® F403604	duct ports fit 3 1/4" X 10" or 7" round, Contractor shall provide all required accessories for proper function, including but not limited to duct, duct vent outlet cover, and light bulb.
A-5	stackable washer, Energy Star rated, ADA-compliant, white	Samsung® WF45T6000AW	
A-6	stackable electric dryer, Energy Star rated, ADA-compliant, white	Samsung® DVE45T6000W	Contractor shall provide all required accessories for proper function, including but not limited to duct and duct vent outlet cover

PLUMBING FIXTURE SCHEDULE				
MARK	DESCRIPTION	MODEL NO.	COLOR/FINISH	REMARKS
P-1	Kitchen sink: drop-in 33X22, single compartment, 16 ga. stainless steel, pre-drilled for single-hole, satin finish, drain located @ center rear, drain/strainer basket included	Miseno® MNO3322SRTM	stainless steel satin finish	--
	Kitchen faucet: high arc, single hole, single handle, do NOT install side sprayer, ADA-compliant	Delta® Precept® P199152LF	polished chrome	01 Side sprayer may be included in kit, BUT do NOT install sprayer. Transmit side sprayer to Owner.
P-2	Lavatory sink: drop-in vitreous china sink w/ overflow drain, oval shape, pre-drilled for one hole, 20.25" X 17.5" w X 8.5" d	Kohler® Pennington® K-2196-1-0	white	
	Lavatory faucet: single-hole, single handle faucet w/ pop-up drain, ADA-compliant	Delta® Modern Project Pack® 534LF-PP	polished chrome	
P-3	Toilet with toilet seat: 2-piece, elongated bowl, 1.28 gpf, 12" rough-in	Project Source® ProFlush® MT-802PRO	white	
P-4	Shower assembly (with shower base size variation):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, no stops	Delta® Universal Mixing Rough-in® R10000-UNBX	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	shower drain: 2" compression fit drain, brass body	WESTBRASS® D206B-26	polished chrome	
	P-4a alcove shower base 32" X 48" X 2.75" with center drain, single threshold	DreamLine® SlimLine® DLT1132480	white	01 Select from these two shower pan options to fit as shown in Floor Plan.
	P-4b alcove shower base 36" X 48" X 2.5" with center drain, single threshold			
P-5	Tub/Shower assembly (with tub size and drain location variations):			
	shower control trim and arm: shower mixer trim and fixed shower head arm, brass construction	Delta® Modern® T14267-LHD-PP	polished chrome	
	shower control rough-in valve: pressure balanced universal rough-in, with stops	Delta® MultiChoice Universal Mixing Rough-in® R10000-UNWS	NA	
	shower head: fixed shower head, 2 gpm, 3-sprays	Speakman® Hotel® S-2005-H-E2	polished chrome	
	tub spout with integral diverter, wall-mounted	Delta® RP19895	polished chrome	
	tub drain, brass pipe	Keeney® 595R8	polished chrome	
	P-5a-R 30x60 alcove tub, right-hand drain, porcelain enameled steel	American Standard® Princeton® 1391202.020, right hand drain	white	
	P-5a-L 30X60 alcove tub left-hand drain, porcelain enameled steel	American Standard® Princeton® 1390202.020, left hand drain	white	01 Select from these four bath tub options to fit as shown in Floor Plan.
	P-5b-R 30x54 alcove tub, right-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3302-00, right hand drain	white	
	P-5b-L 30X54 alcove tub left-hand drain, porcelain enameled steel	MAAX® PRO Steel® LOW-3303-00, left hand drain	white	

EXTERIOR OPENINGS SCHEDULE						
MARK	UNIT SIZE	DESCRIPTION	MANUFACTURER AND SERIES	MODEL NO.	HARDWARE	REMARKS
A	3'-0" X 6'-8" X 1 3/4"	4-paneled steel entry door with glass top panel: impact-resistant, insulated, Energy Star compliant, paintable factory finish, w/ 20-year standard manufacturer's warranty.	Masonite®, (See Sheet A2 for Elevation)	--	entry hardware set, Grade 1: Schlage® Century® Single Cylinder Door Handleset with Latitude® Handle F60 G CEN 622 LAT, matte black	Provide peep hole @ 60" AFF, centered on door width. See Ext. Elevations re: alignment of window and door head trims.
B	2'-4" X 1'-6"	Vinyl, fixed, impact-resistant, transom window, insulated glass, single-lite configuration	Vinwinco® OceanView Impact Resistant Windows®	OVTSM2818	NA	See Ext. Elevations re: alignment of window and door head trim.
C	3'-0" X 5'-0"	Vinyl, single-hung, impact-resistant window, insulated glass, 1 over 1 lite configuration	Vinwinco® OceanView Impact Resistant Windows®	OVSH3660	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.
D	3'-4" X 5'-0"	Vinyl, single-hung, impact-resistant window with emergency escape and rescue opening, insulated glass, 1 over 1 lite configuration	Vinwinco® OceanView Impact Resistant Windows®	OVSH4060	Standard hardware included	See Ext. Elevations re: alignment of window and door head trim.

INTERIOR OPENINGS SCHEUDLE			
MARK	UNIT SIZE	DESCRIPTION	REMARKS
1	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
1a	same as Mark 1	Same as Mark 1	
2	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
3	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
4	1'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	
5	2(1'-6" X 6'-8" X 1 3/8")	Pair of solid core flush birch veneer doors, swinging. Total width of two door panels: 36".	
6	4(1'-0" X 6'-8" X 1 3/8")	Pair of flush birch veneer bi-fold doors. Total width of four door panels: 48".	
7	2'-0" X 3'-8" X 1 3/8"	Solid core, birch veneer door, cut door height to fit above AHU platform, door head at 6'-8" AFF, keyed hardware	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors. Match head height to other interior doors.
8	2'-0" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
9	2'-6" X 6'-8" X 1 3/8"	Solid core flush birch veneer door, swinging.	All keyed interior doors shall be keyed alike. Keyed interior doors shall NOT be keyed alike to exterior doors.
10	2'-8" X 6'-8"	cased opening	

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architectural design studio

1034 Joliet Street  
New Orleans, La 70118  
504- 864-9909 phone  
504- 864-9983 fax  
a limited liability company

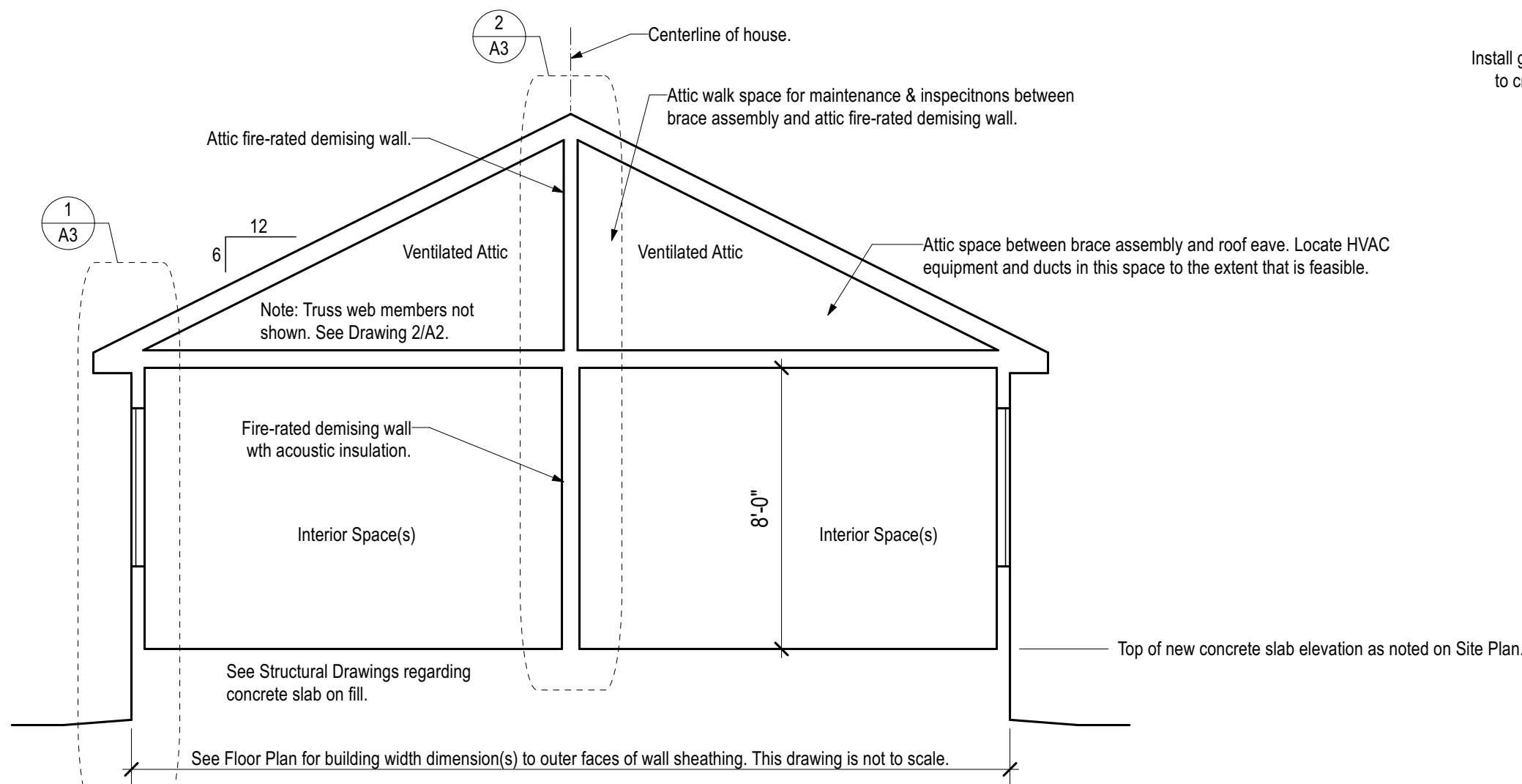
Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002

NEW HOUSE AT 6100A & 6100B FIFTH AVENUE  
MARRERO, LOUISIANA

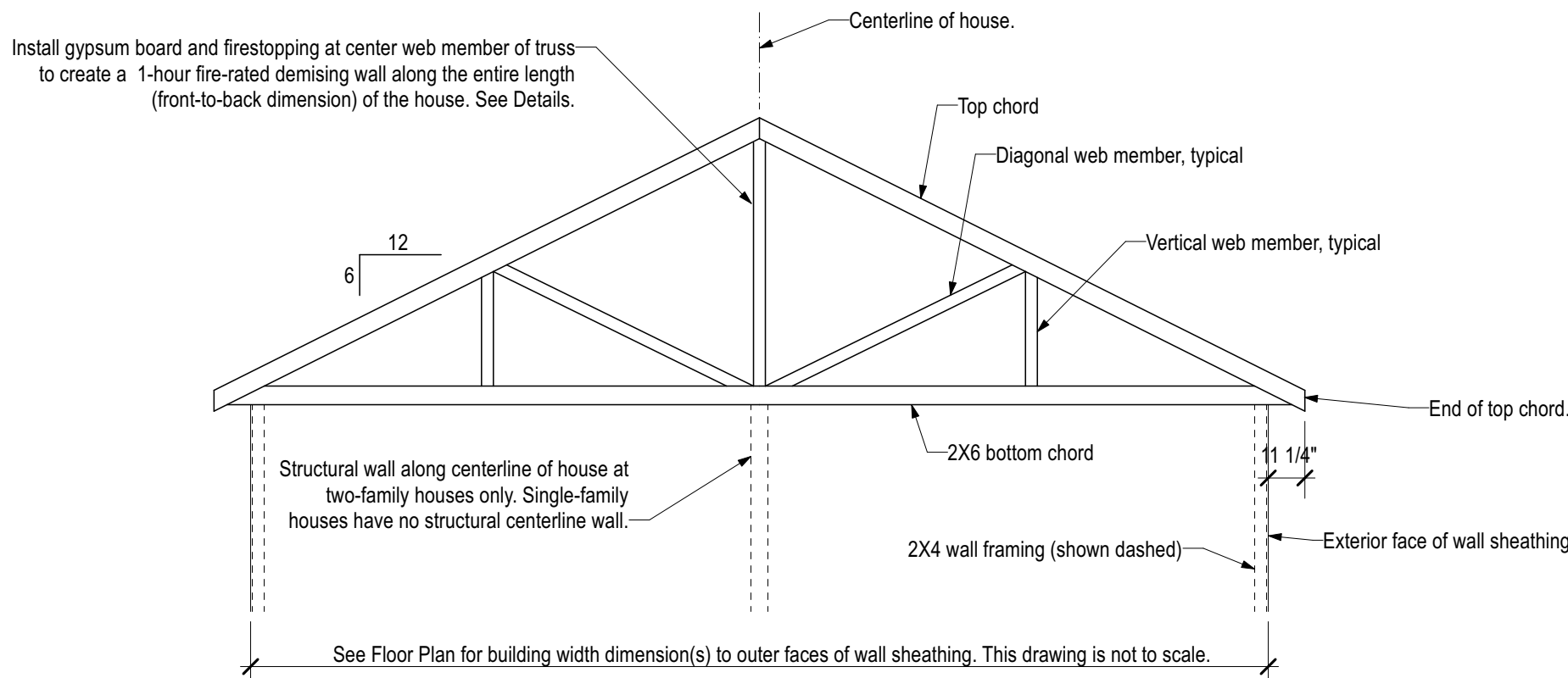
Issue and print dates:  
07/23/2025 - Bidding Documents  
08/06/2025 - Revision 01





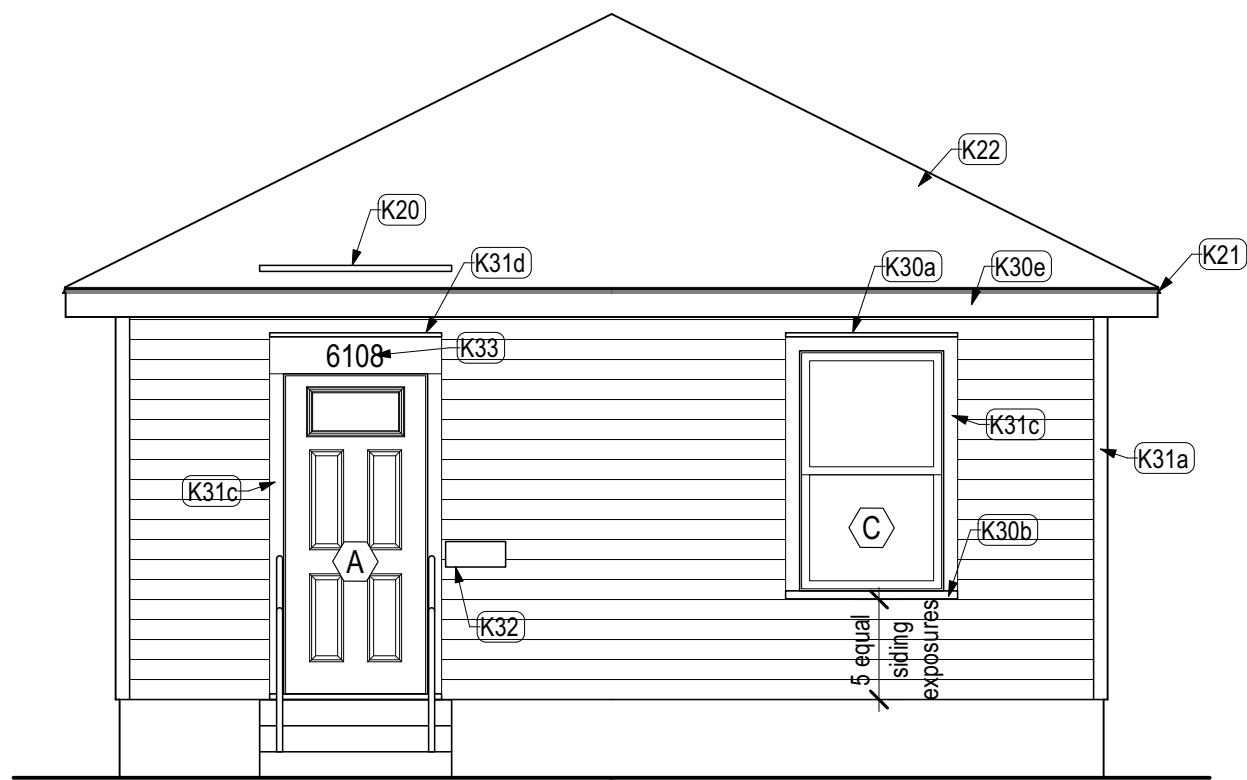


1 Building Section  
Scale: 1/4" = 1'-0"

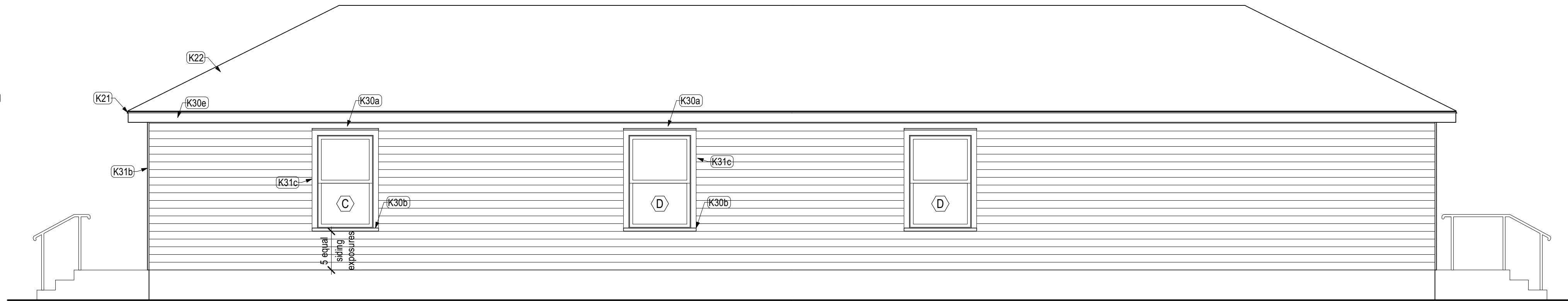


- Notes:
1. Typical truss configuration shall be Howe (shown) or Double Howe (not shown) unless otherwise approved by Architect.
  2. Provide shop drawings stamped by a Louisiana-licensed structural or civil engineer. These drawings shall include design of bracing and truss-to-wall connections.
  3. The roof structure shall comply with Fortified™ roof requirements.
  4. Provide all required truss bracing and connections as per the truss shop drawings.
  5. Top chord and bottom chord members shall be 2X6.
  6. Web members shall be 2X4 minimum.
  7. Truss spacing shall be 24" on-center.
  8. See Roof Plan. Trusses shall conform to roof designs including hips and valleys, if applicable.

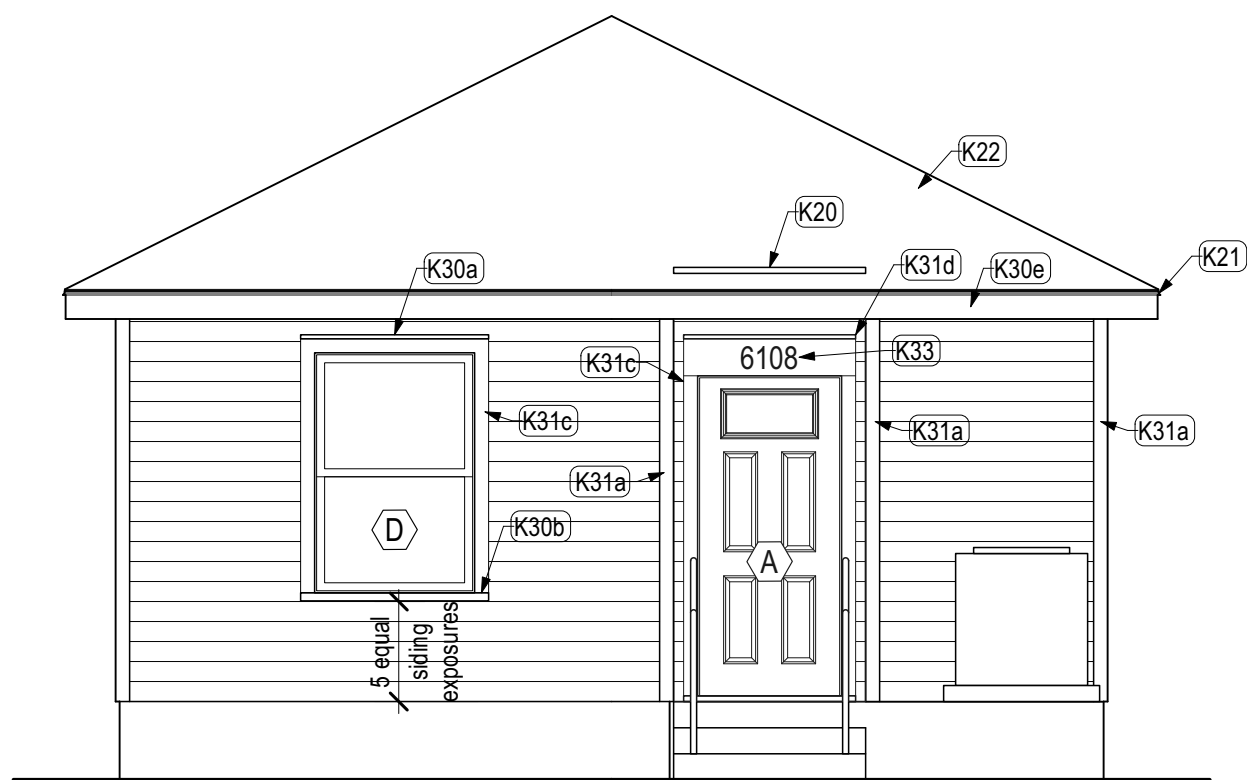
2 Typical Pre-Engineered Roof Truss  
Scale: 1/4" = 1'-0"



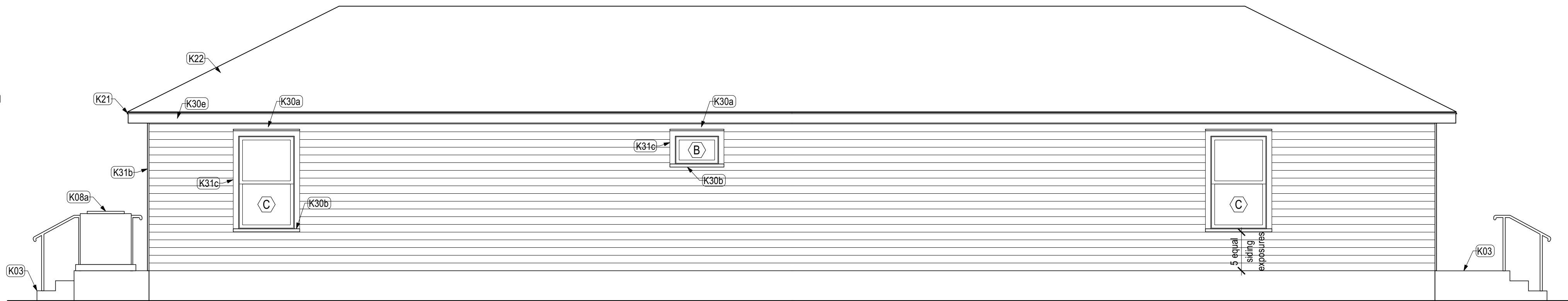
3 Front Elevation  
Scale: 1/4" = 1'-0"



4 Right Side Elevation  
Scale: 1/4" = 1'-0"

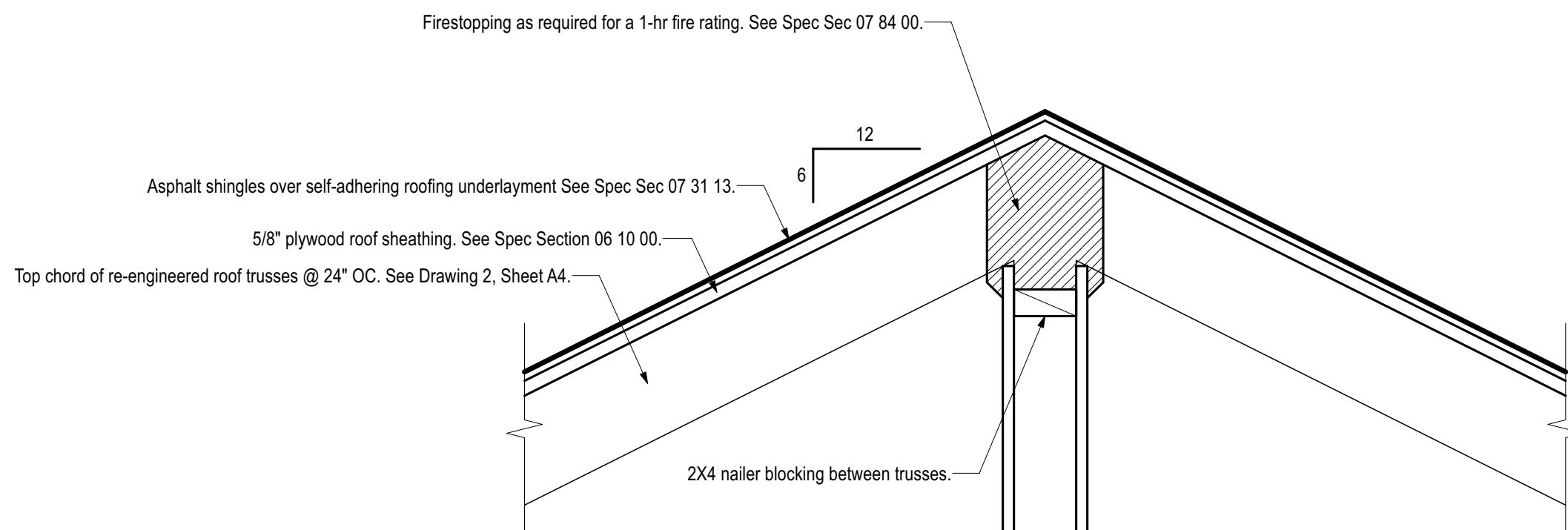


5 Rear Elevation  
Scale: 1/4" = 1'-0"

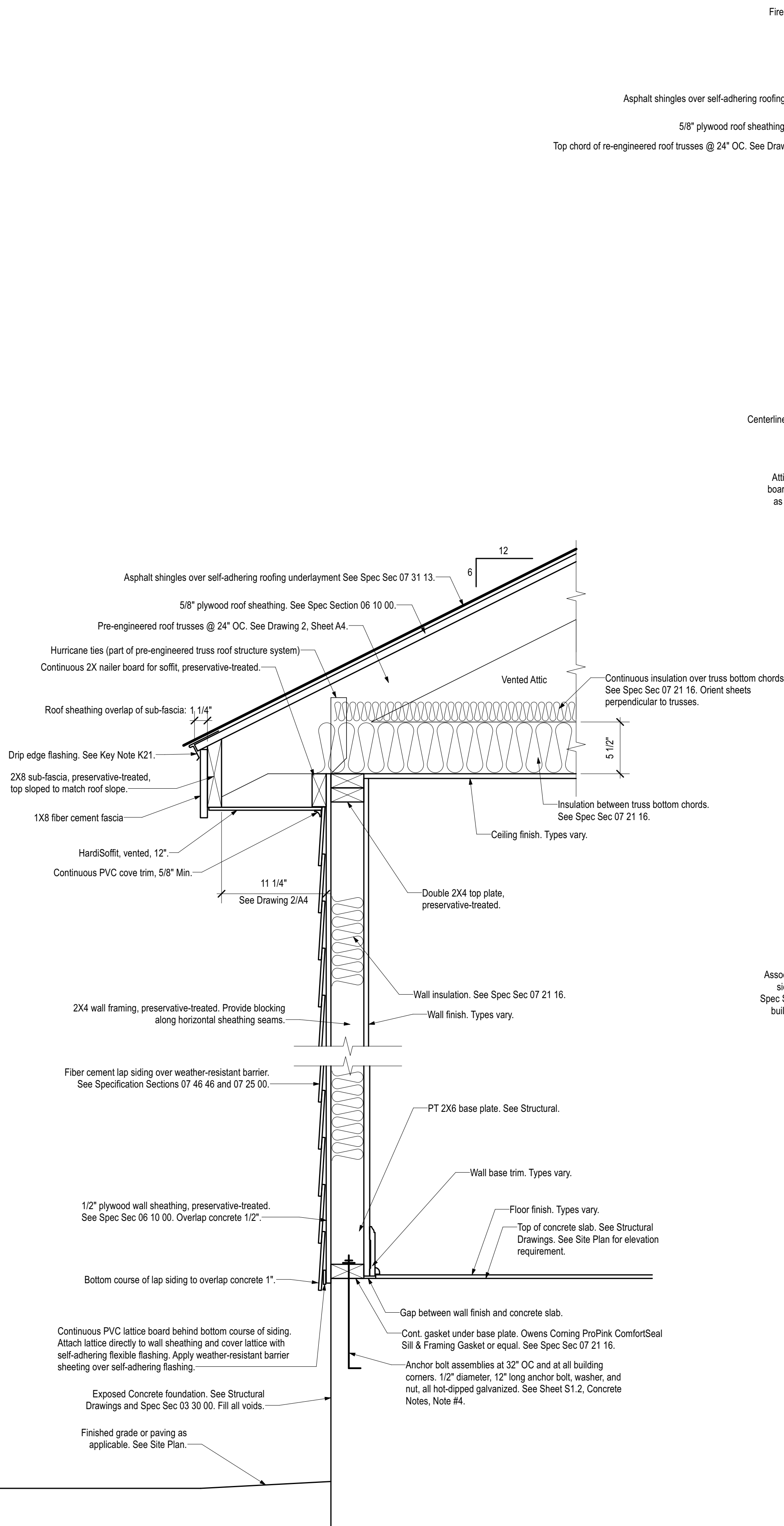


6 Left Side Elevation  
Scale: 1/4" = 1'-0"

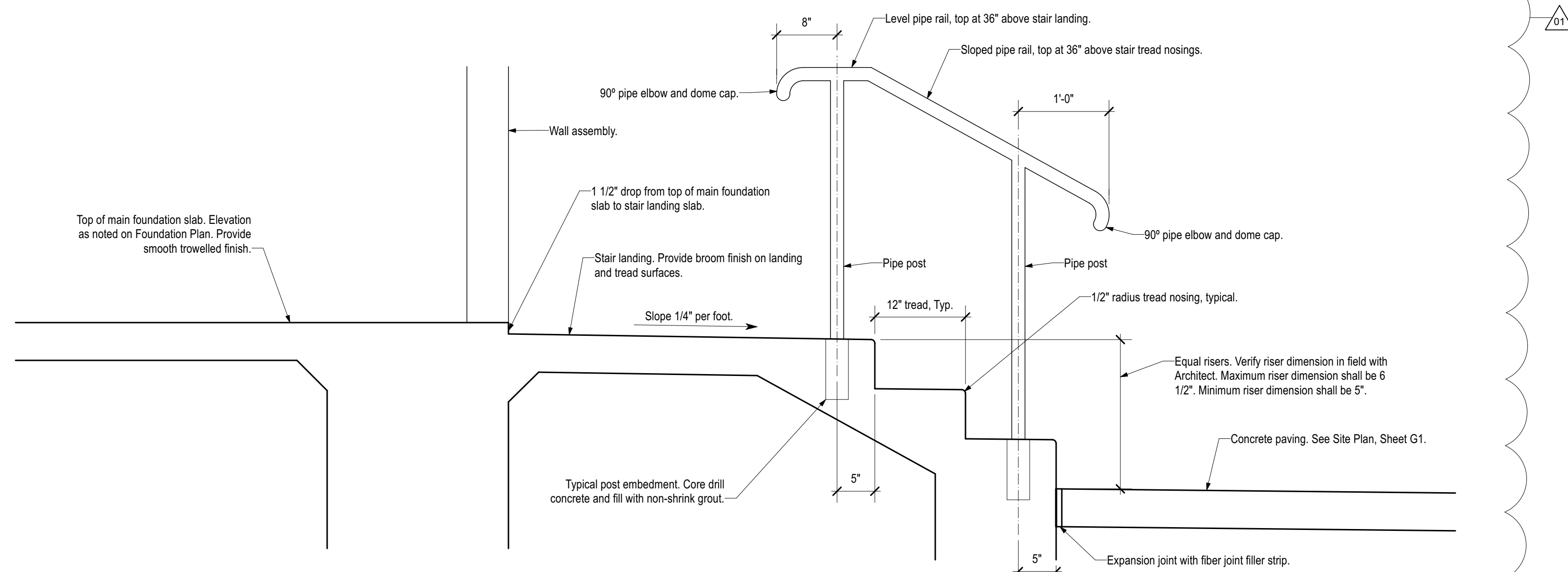
01



1  
A5  
Typical Exterior Wall Section Detail  
Scale: 1 1/2" = 1'-0"

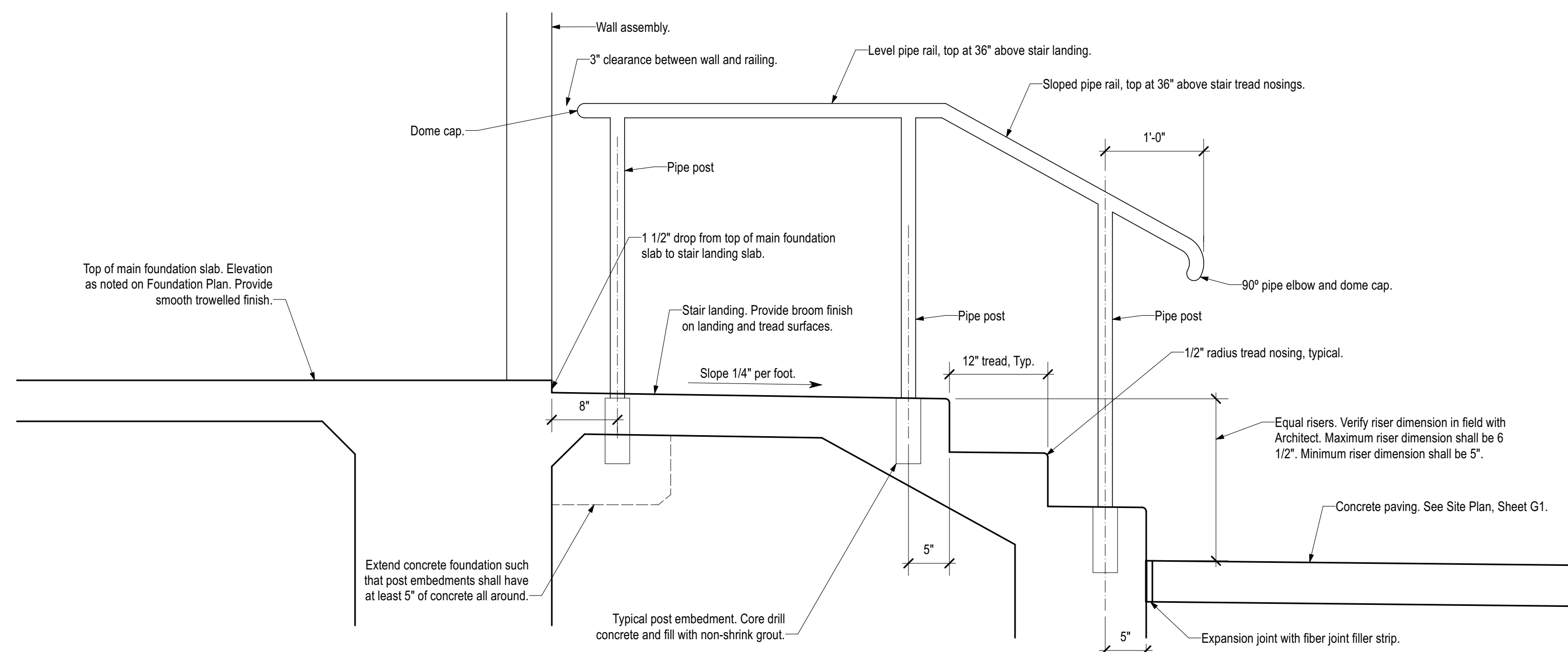


2  
A5  
Typical Demising Wall Section Detail  
Scale: 1 1/2" = 1'-0"



Note: See Spec Sec 05 52 13 regarding railing assemblies.

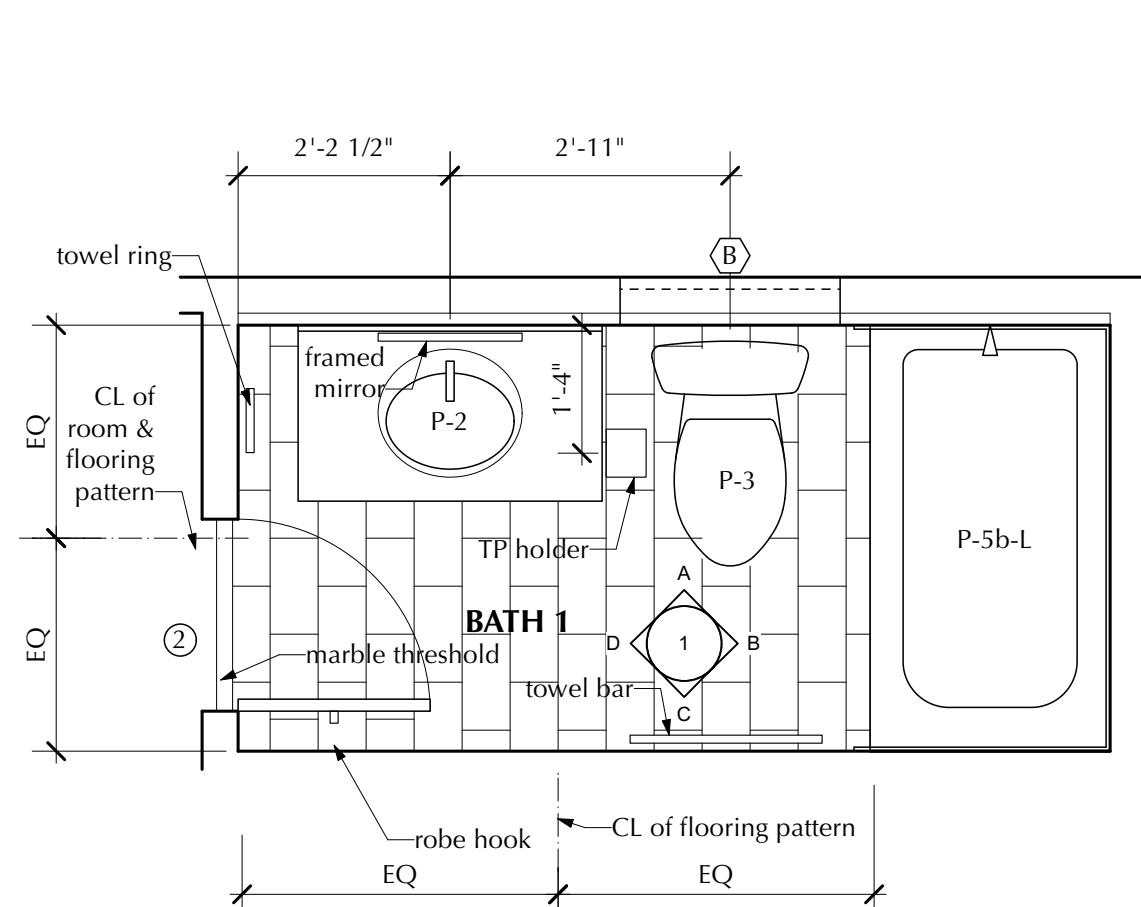
1 Stair & Landing Detail with Typical Rail Assembly  
A6 Scale: 1" = 1'-0"



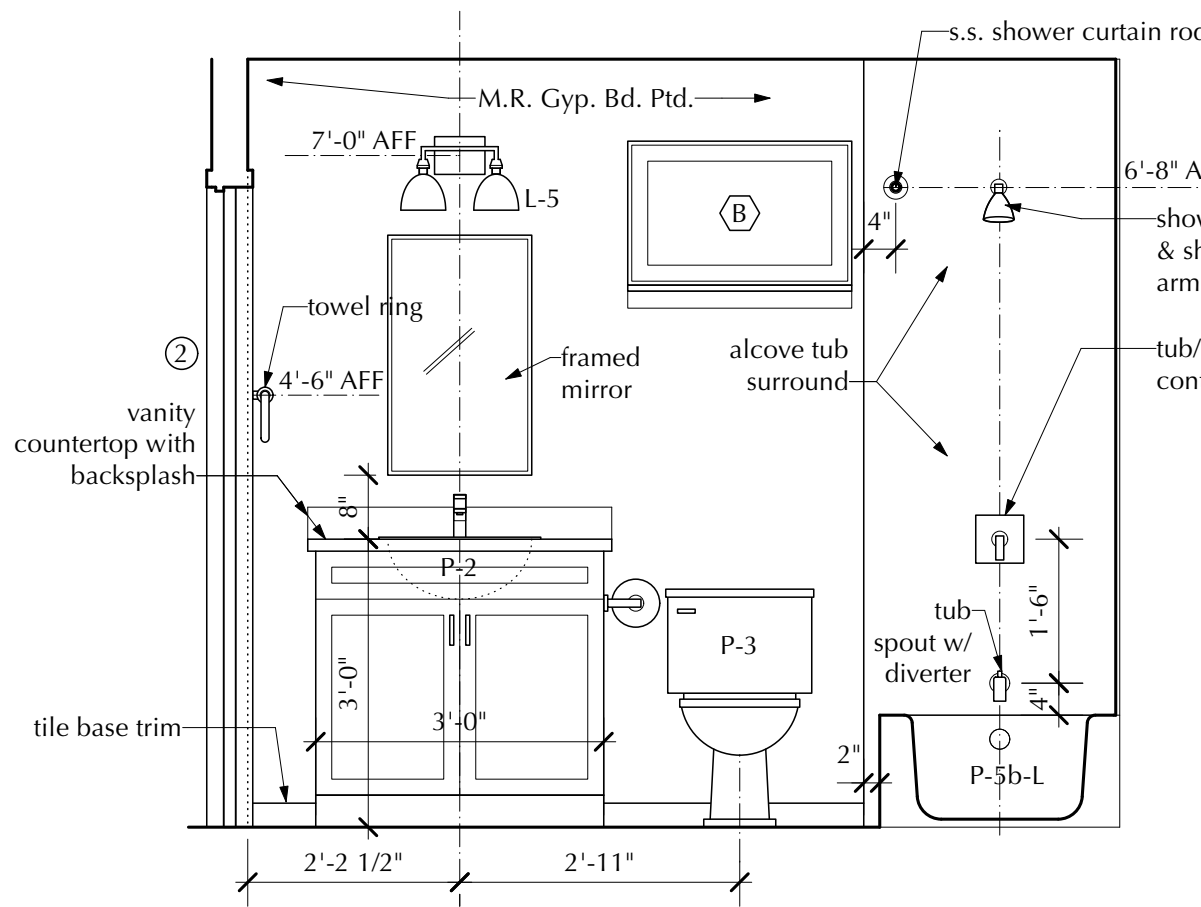
Note: See Spec Sec 05 52 13 regarding railing assemblies.

2 Stair & Landing Detail with Extended Rail Assembly  
A6 Scale: 1" = 1'-0"

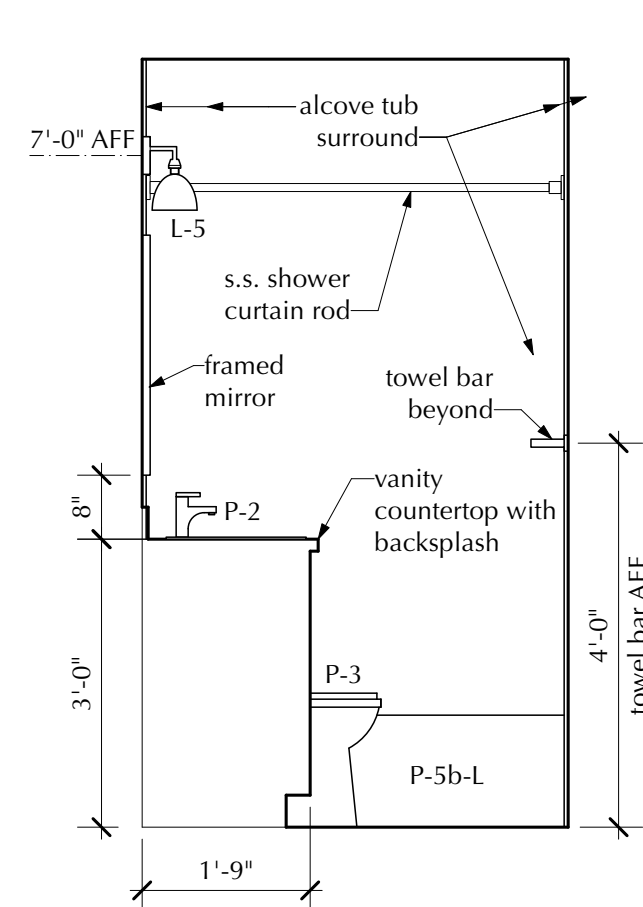




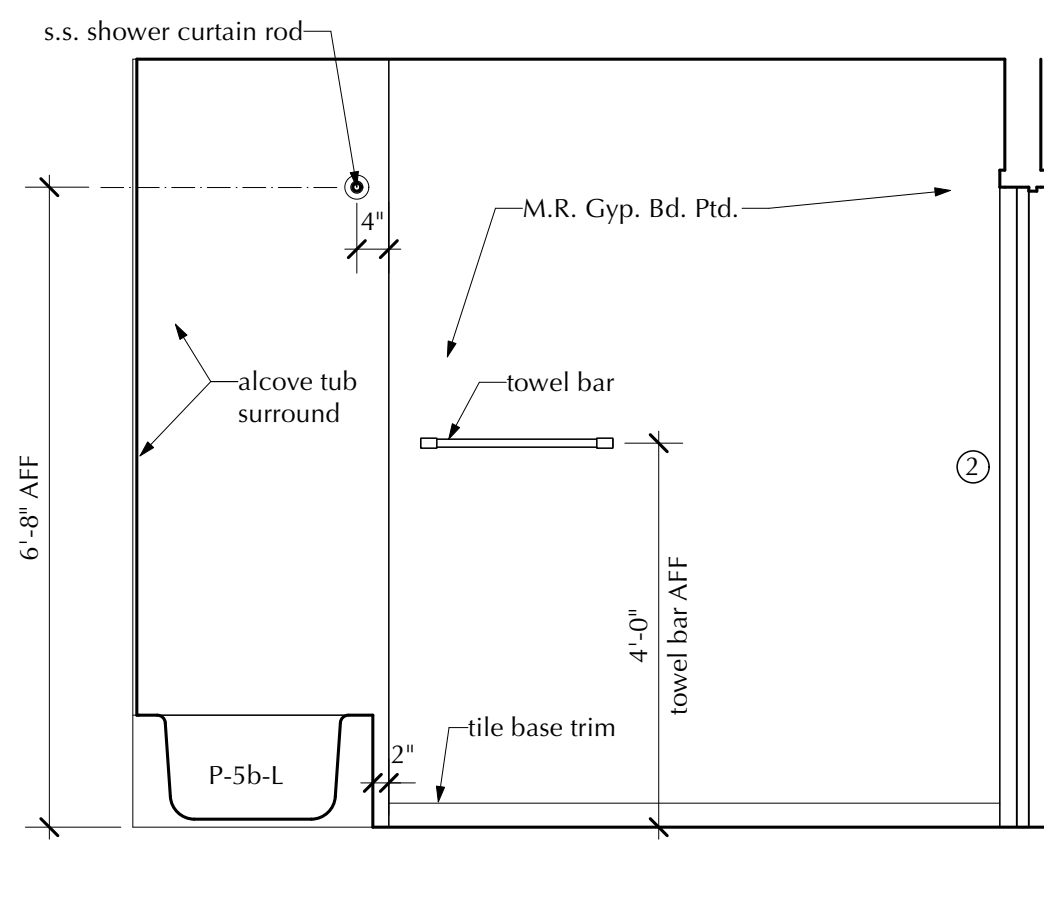
**1 BATH 1 (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



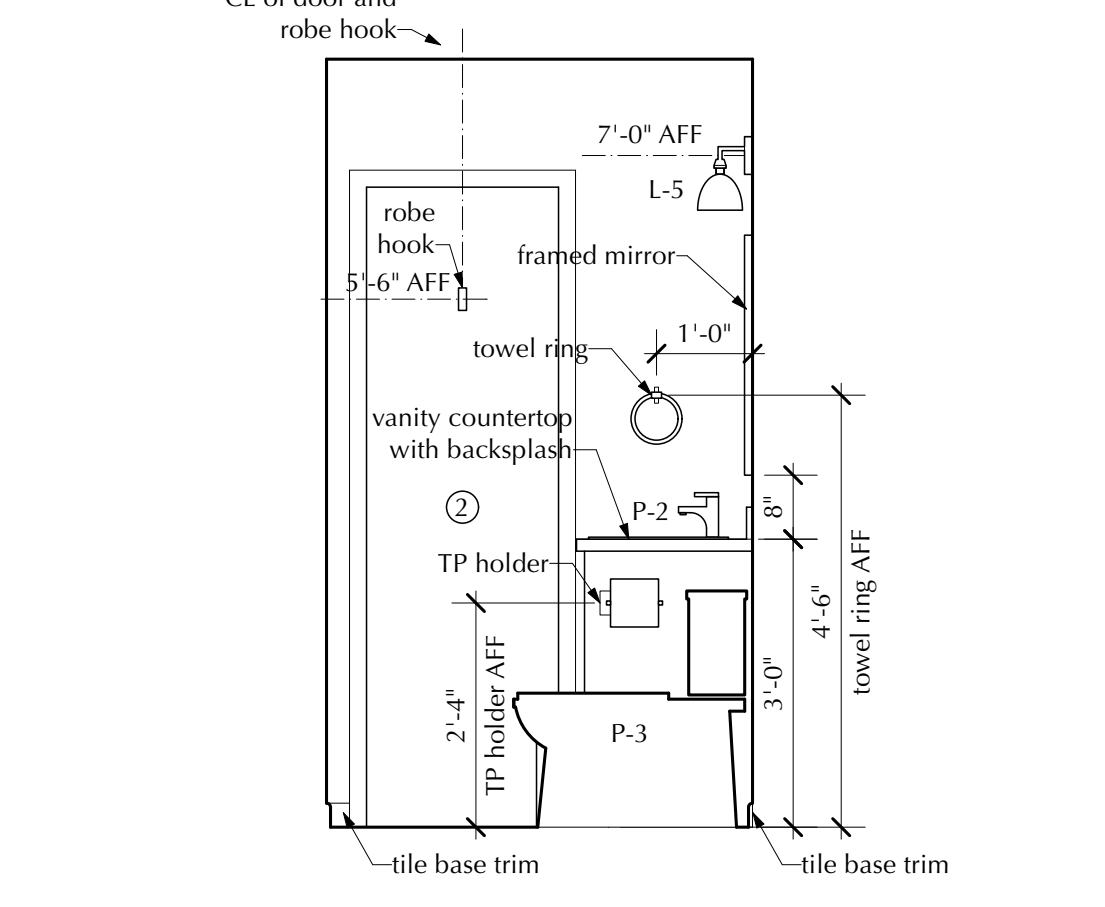
**1A BATH 1 (of Right Side Unit) | Int. Elev. | View of Wet wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



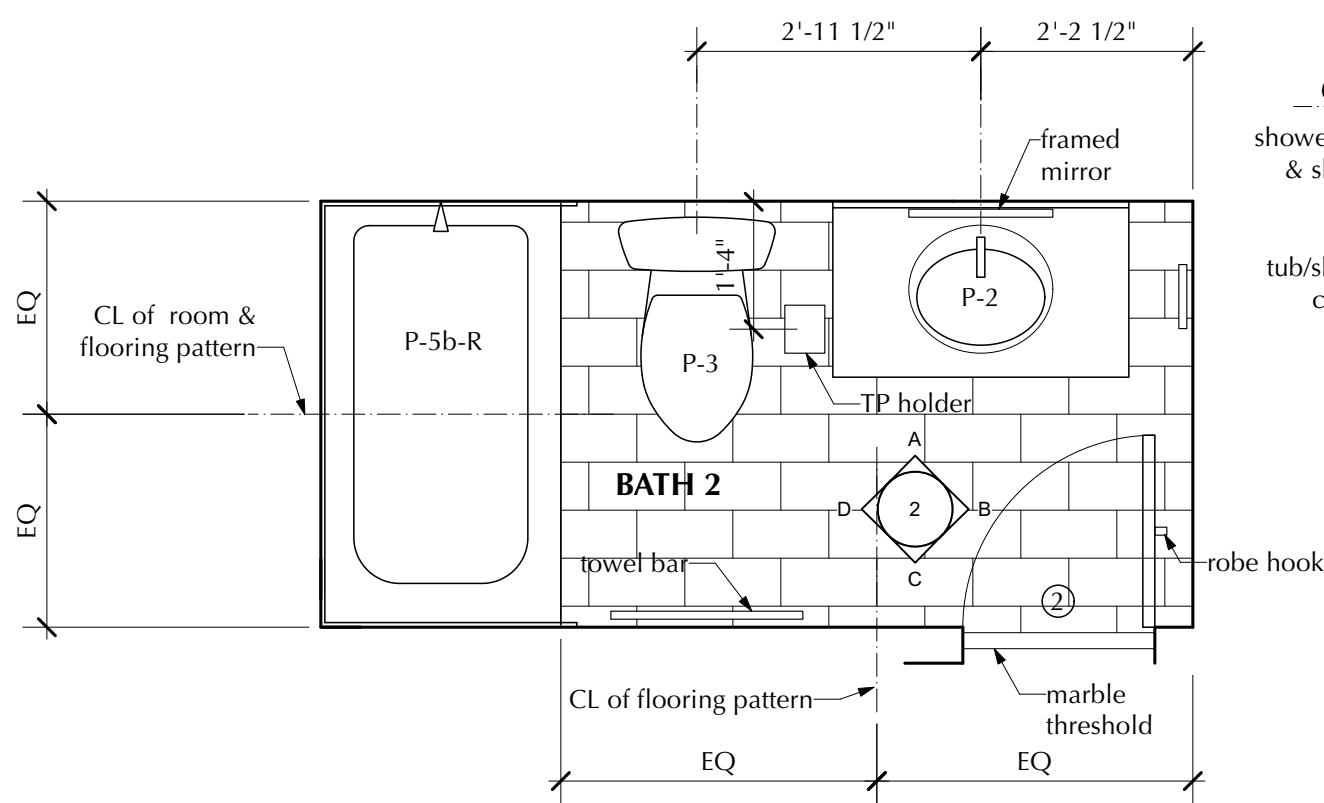
**1B BATH 1 (of Right Side Unit) | Int. Elev. | View of Tub Alcove**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



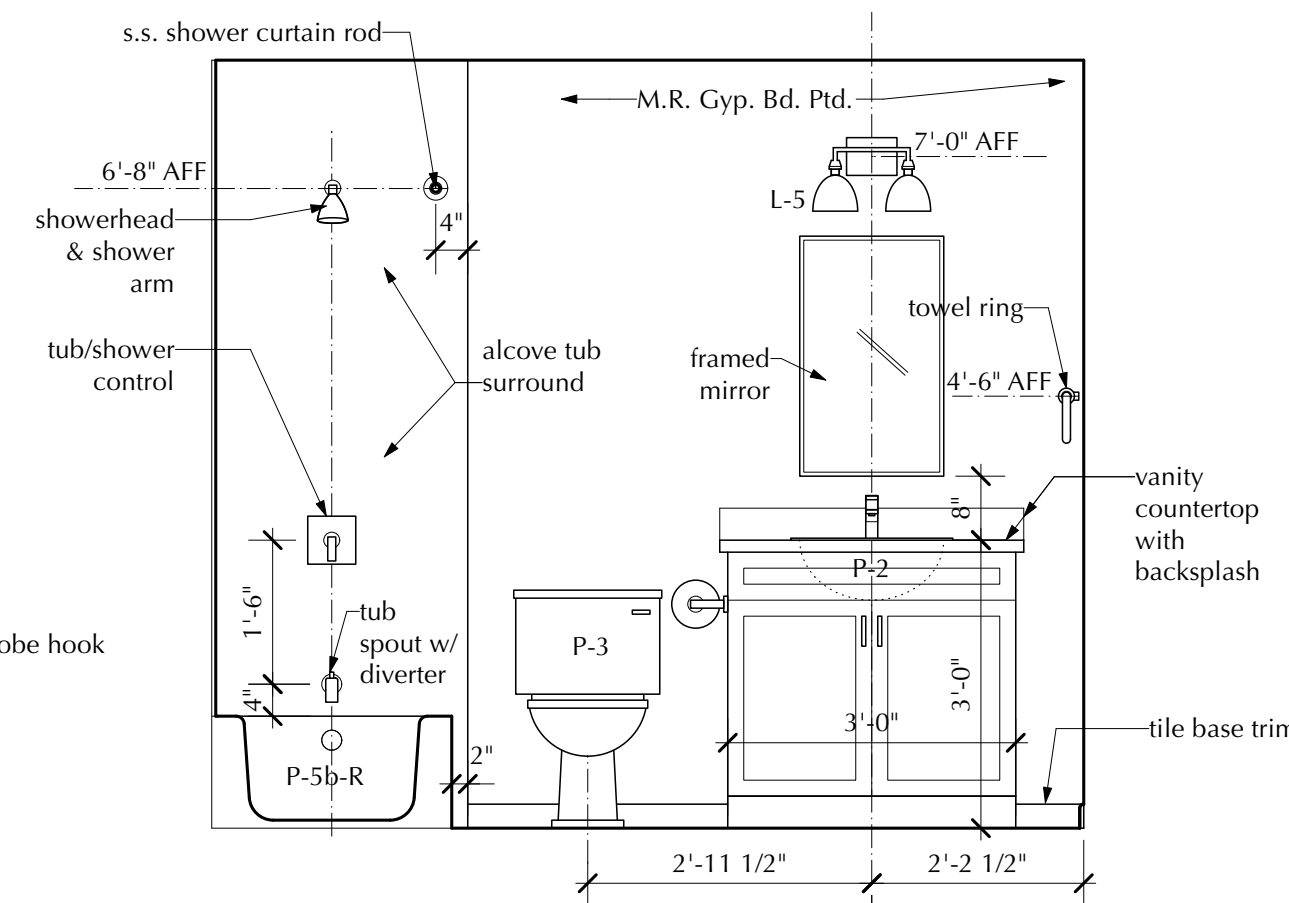
**1C BATH 1 (of Right Side Unit) | Int. Elev. | View of towel bar wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



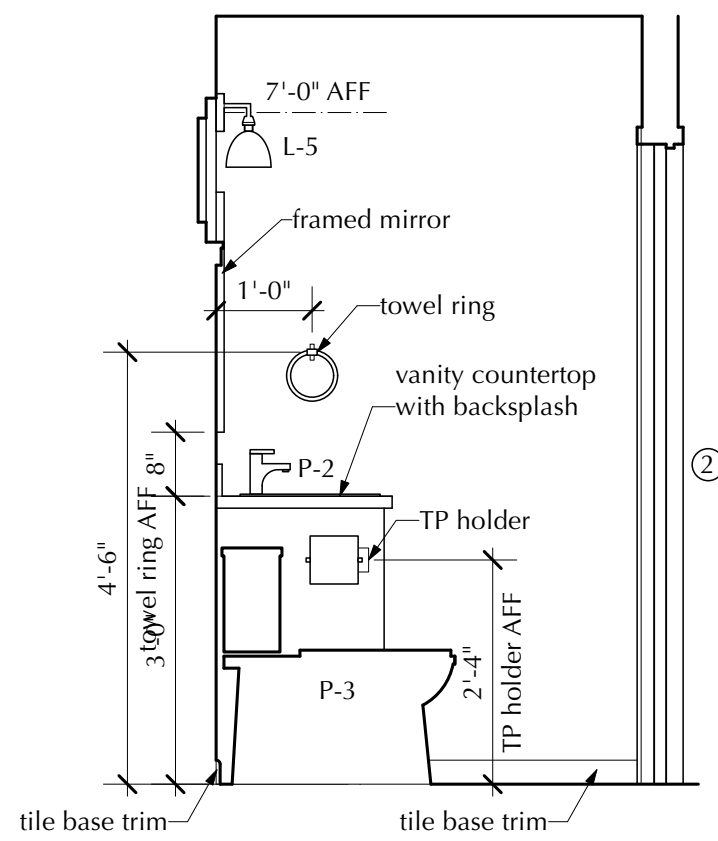
**1D BATH 1 (of Right Side Unit) | Int. Elev. | View of door wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



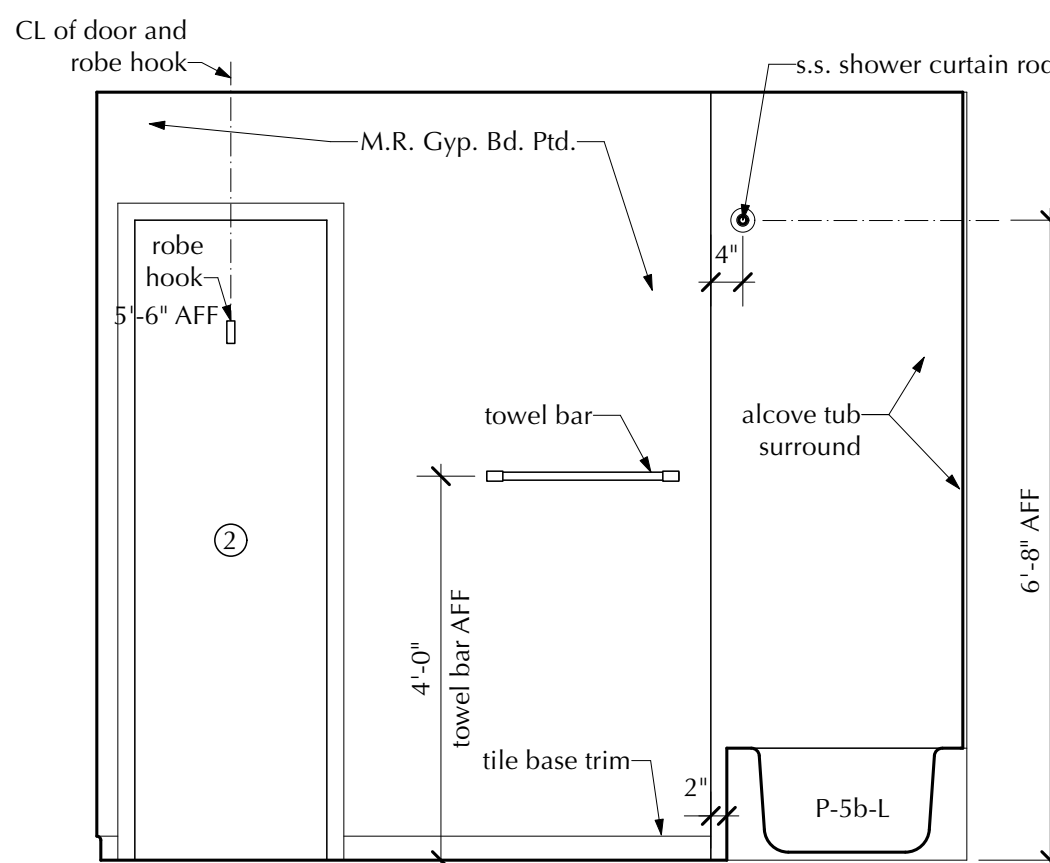
**2 BATH 2 (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



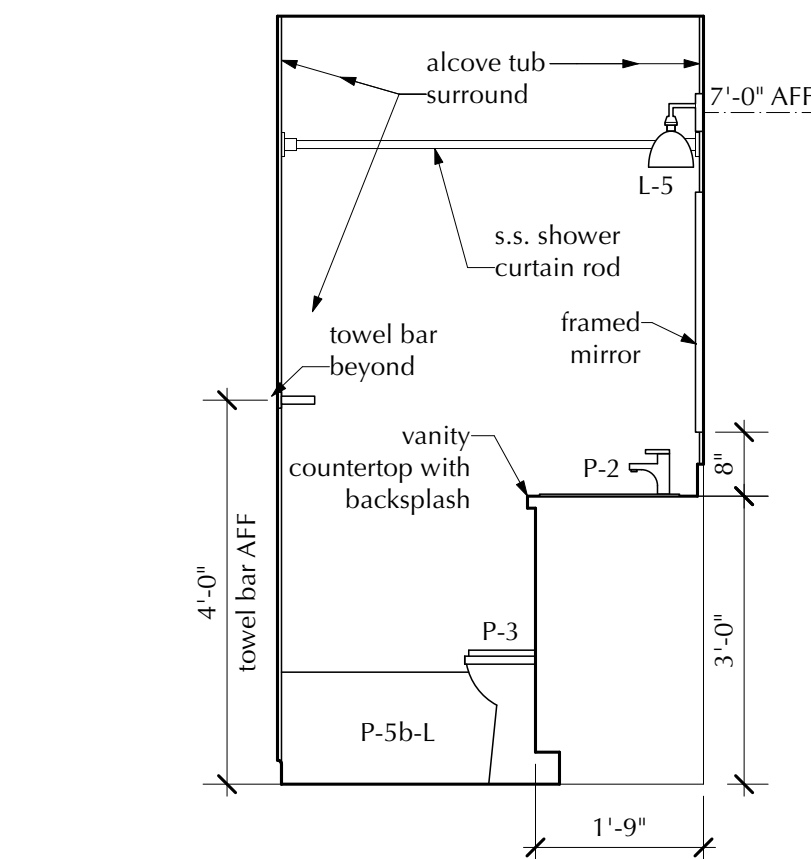
**2B BATH 2 (of Right Side Unit) | Int. Elev. | View of Wet wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



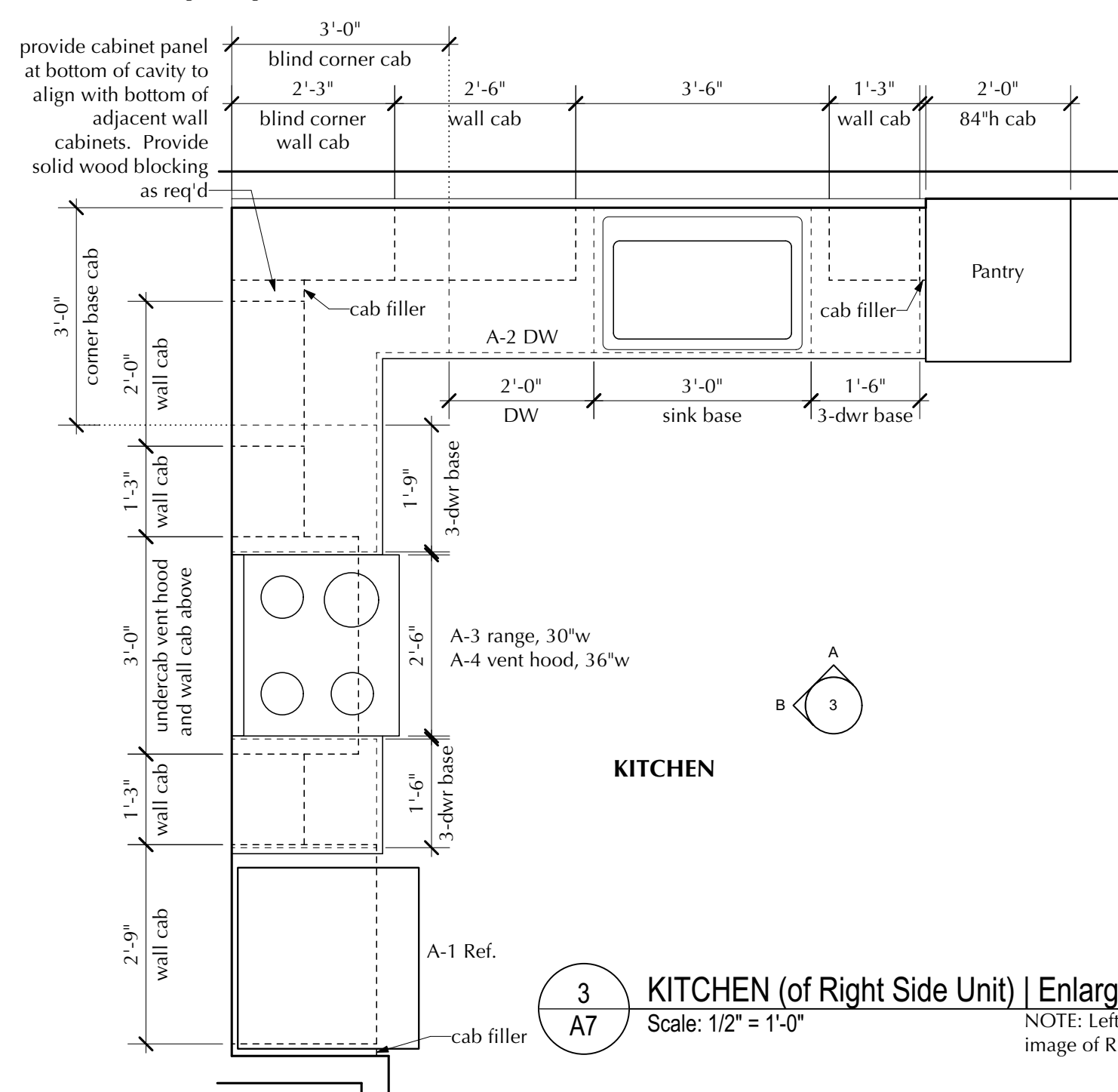
**2B BATH 2 (of Right Side Unit) | Int. Elev. | View of end wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



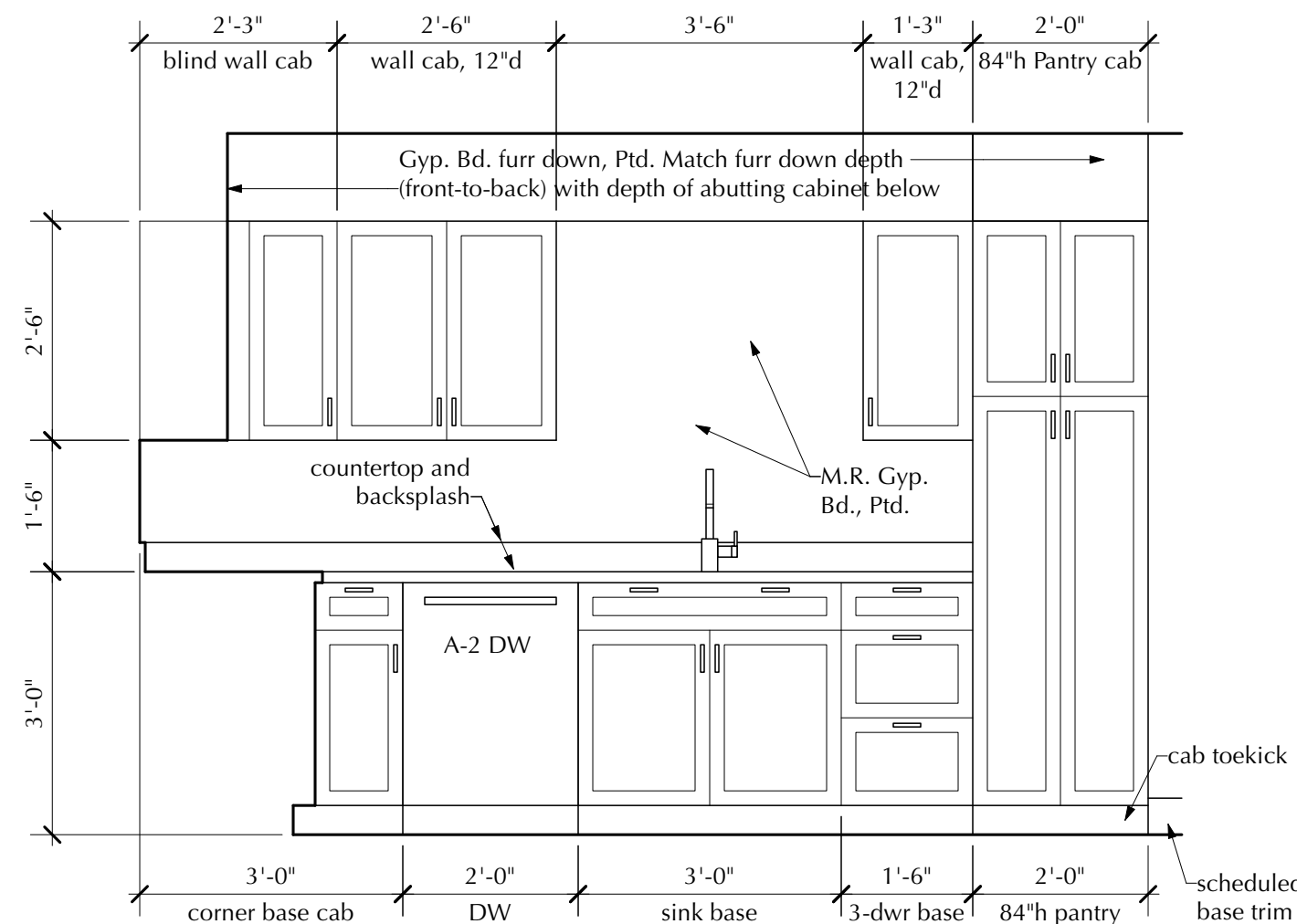
**2C BATH 2 (of Right Side Unit) | Int. Elev. | View of door wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



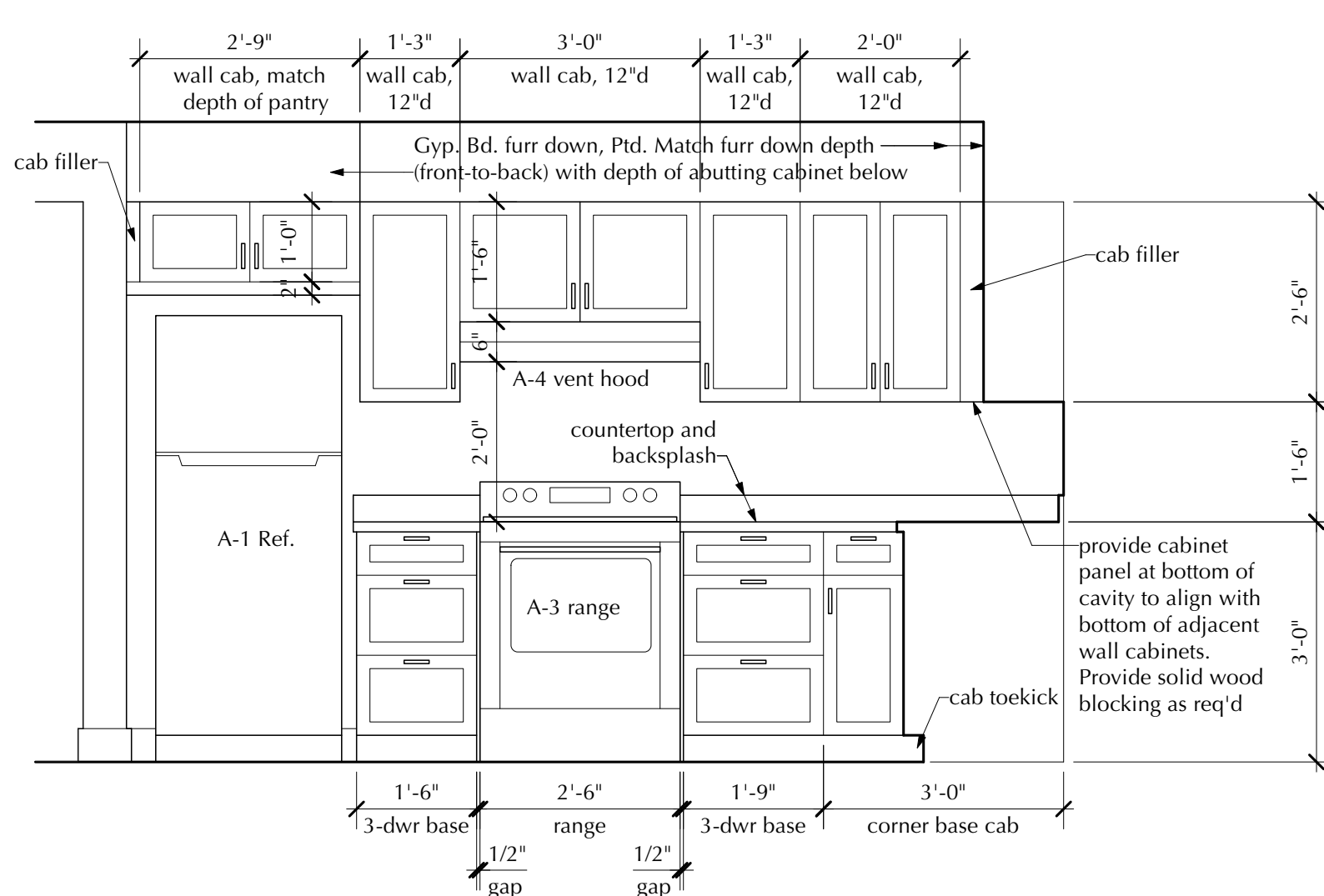
**2B BATH 2 (of Right Side Unit) | Int. Elev. | View of Tub Alcove**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



**3 KITCHEN (of Right Side Unit) | Enlarged Floor Plan**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



**3A KITCHEN (of Right Side Unit) | View Towards Exterior Wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit



**3B KITCHEN (of Right Side Unit) | View Towards Wall**  
Scale: 1/2" = 1'-0"  
NOTE: Left Side Unit is mirror image of Right Side Unit

NOTE: If the cabinet layouts shown on this drawing sheet differ from the cabinet layouts shown on Sheet A1, the cabinet layouts shown on this drawing sheet shall govern.



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architectural design studio  
  
1034 Joliet Street  
New Orleans, La 70118  
504- 864-9909 phone  
504- 864-9983 fax  
  
a limited liability company  
Michael Cajski & Van Tran,  
Architects

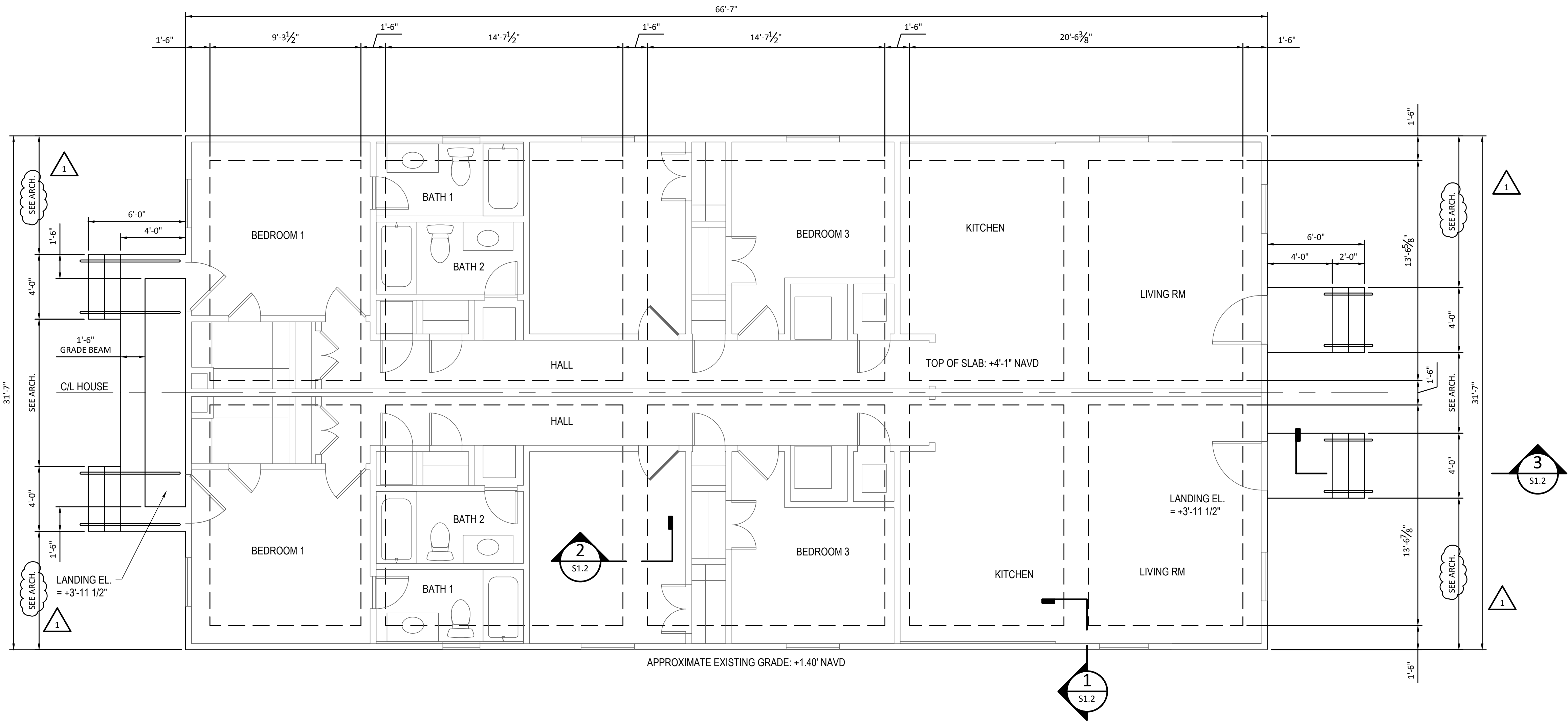
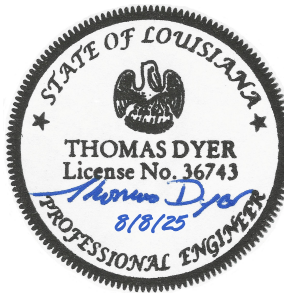
Jefferson Parish Housing Services Design District (JPHSDD)  
ITB number 25-002  
  
**6100A & 6100B FIFTH AVENUE**  
MARRERO, LOUISIANA

**FOUNDATION PLAN**

issue and print dates:  
07/23/2025 - Bidding Documents  
08/08/2025 - Revision 01

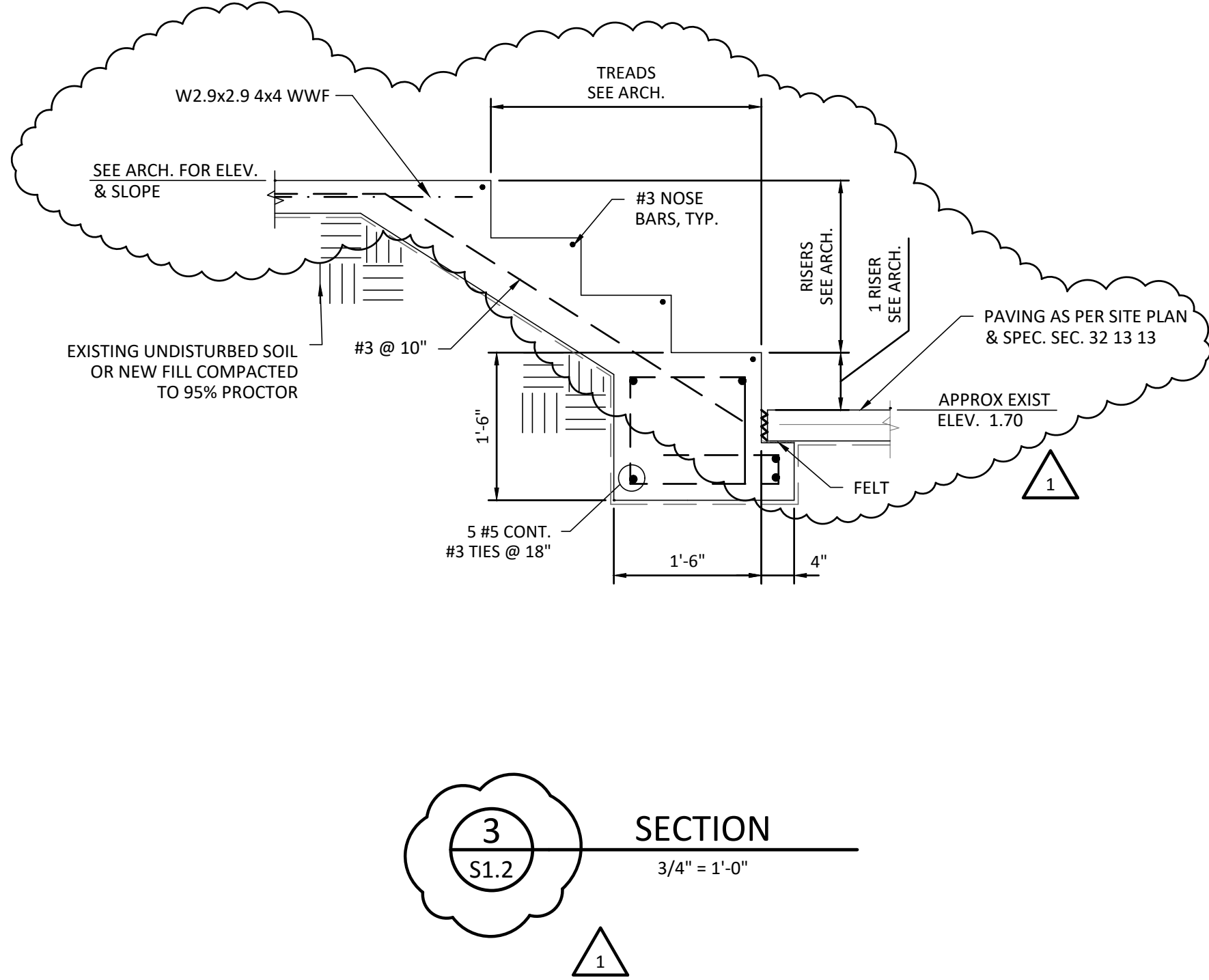
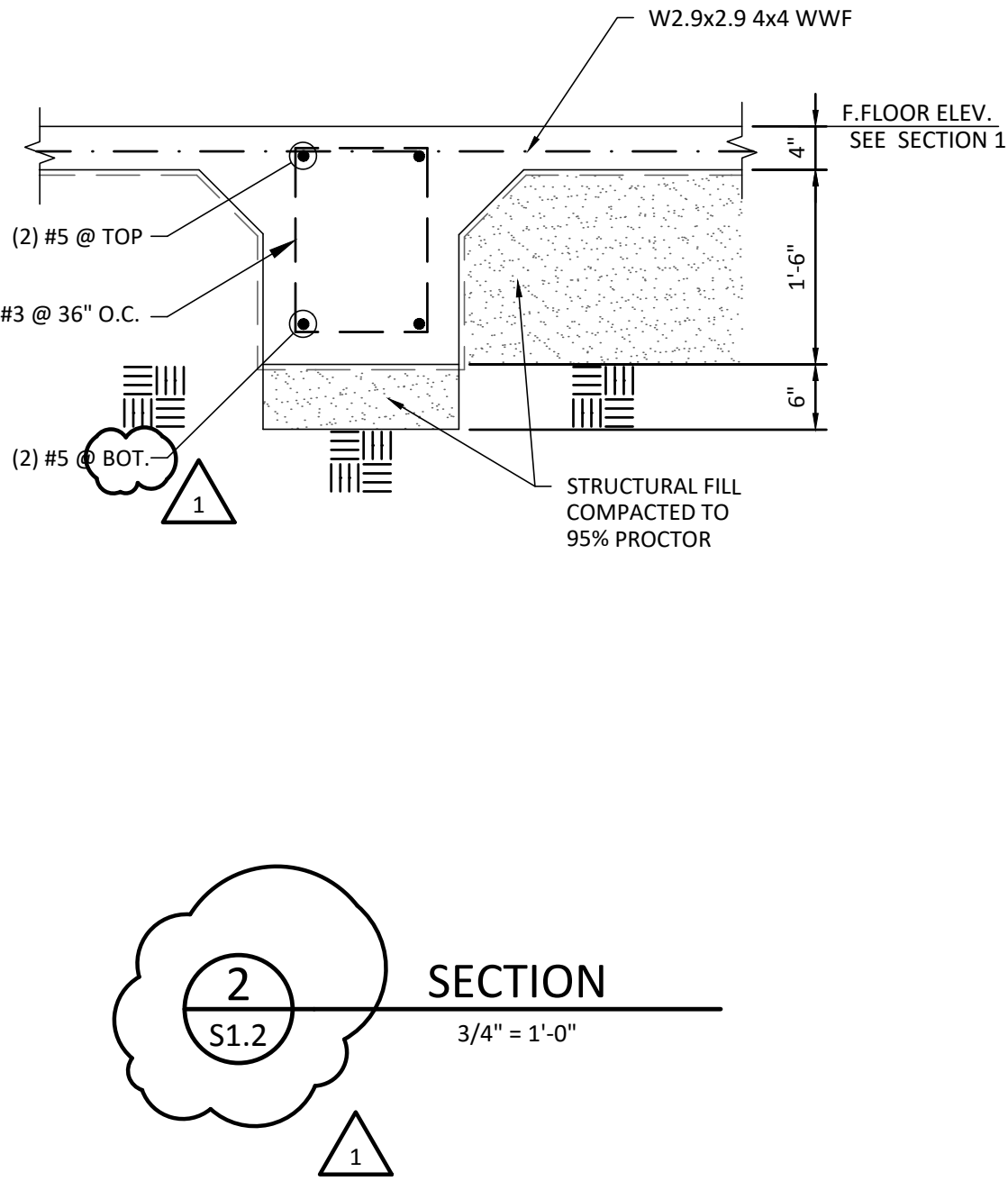
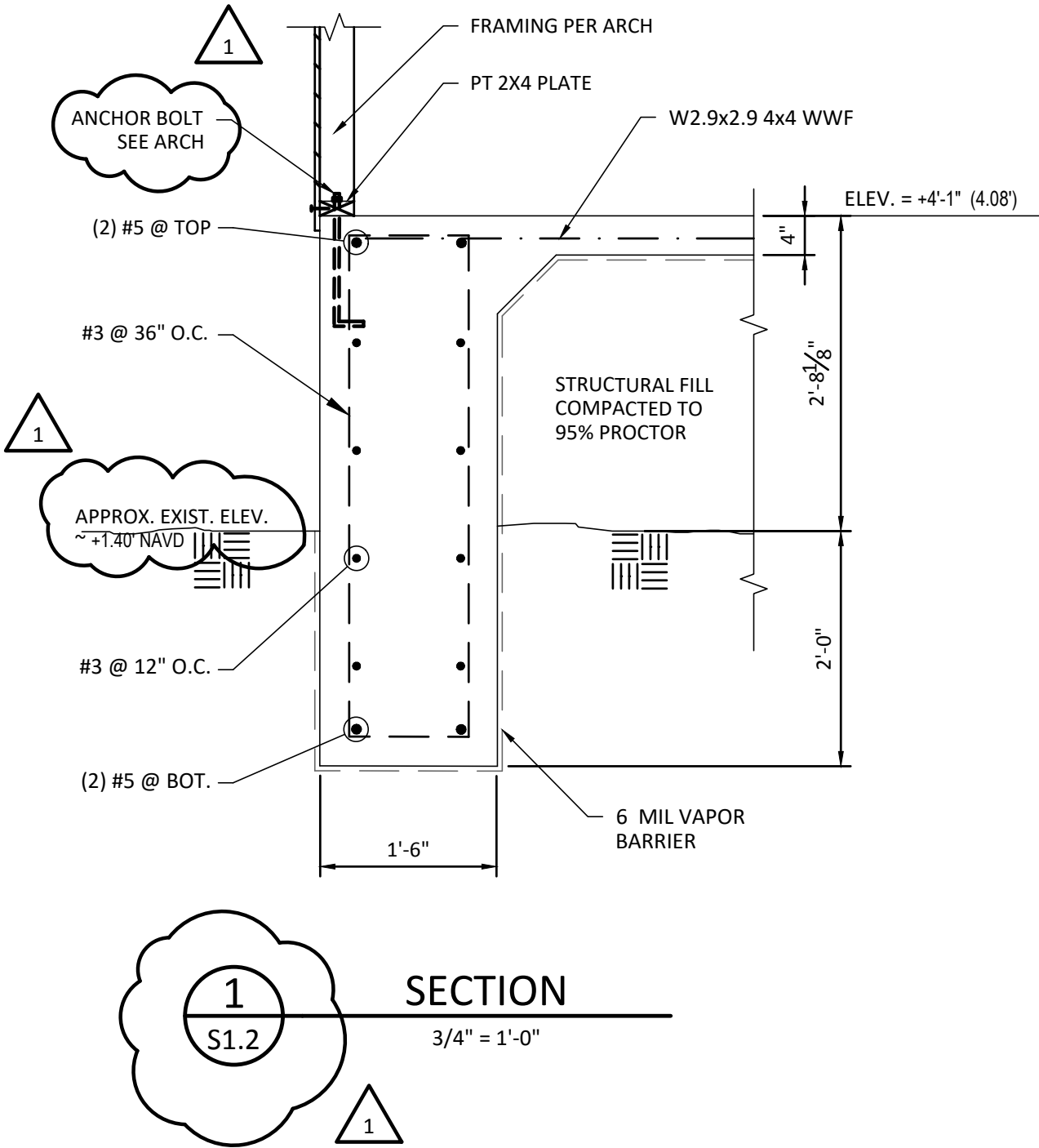
Vol. 0 Project No. 25-006  
drawn by APV  
sheet no.

**S1.1**



**FOUNDATION PLAN**  
1/4" = 1'-0"





GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF:  
AMERICAN CONCRETE INSTITUTE (ACI) LATEST EDITION  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) LATEST EDITION  
AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS (ASCE) LATEST EDITION  
AMERICAN FOREST AND PAPER ASSOCIATION NDS LATEST EDITION
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES AND OVERHEAD POWER LINES IN THE AREA OF THE WORK AND NOTIFY THE OWNER OF ANY INTERFERENCES BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND ELEVATIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (+/-) ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS IN THE FIELD.
- DIMENSIONS AND/OR ELEVATIONS MARKED THUS (N.T.S) ARE NOT SHOWN TO SCALE
- THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED UNTIL CONSTRUCTION IS COMPLETE.

DESIGN LOAD CRITERIA:

CONCRETE, STRUCTURAL STEEL MEMBERS AND CONNECTIONS ARE DESIGNED PER IBC 2021 AND ASCE 7-22 BY ALLOWABLE STRESS DESIGN AND LFRD

LIVE LOADS:

1ST FLOOR = 40 psf  
ROOF = 20LBS/SQFT

WIND LOAD DATA:

PER ASCE 7-22 3-SEC PEAK GUST MPH  
ENVELOPE  
OPEN  
RISK CATEGORY II  
WIND SPEED = 139 MPH  
WIND EXPOSURE B  
INTERNAL PRESSURE COEFFICIENT +/- 0.55  
COMPONENTS AND CLADDING:  
ROOF = + ZONE 1 = +18.66/-29.64  
= + ZONE 2 = +18.66/-60.37  
= + ZONE 3 = +18.66/-66.98  
= + ZONE 2 + 3 WIDTH = 5 FT

SEISMIC LOAD DATA:

SITE CLASS D  
SMS = 0.15  
SM1 = 0.13  
SDS = 0.097  
SD1 = 0.085

CONCRETE NOTES:

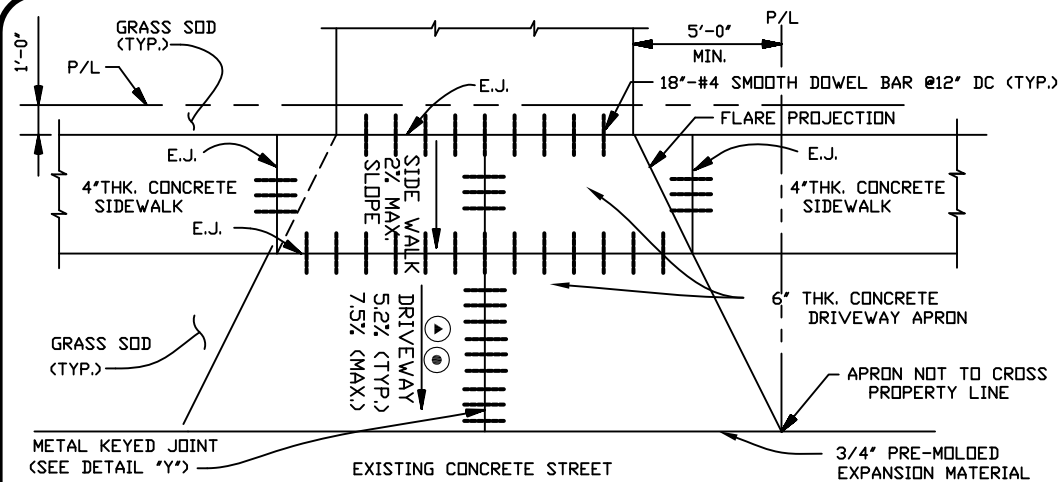
- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:  
a. ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.  
b. ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.  
c. ACI 315 DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- CONCRETE ADMIXTURES SHALL NOT BE USED WITHOUT OWNER PRIOR APPROVAL.
- PROVIDE ANCHOR/RODS BOLTS CONFORMING TO ASTM F1554 GRADE 36, HEAVY HEXAGON NUTS CONFORMING TO ASTM A563 AND WASHERS CONFORMING TO F436. GALVANIZE BOLTS, NUTS, SLEEVES AND WASHERS IN ACCORDANCE ASTM A153. REINFORCING BARS SHALL CONFORM TO ASTM A615 REQUIREMENTS FOR GRADE 60 DEFORMED BARS. DETAILING & FABRICATION SHALL BE IN ACCORDANCE WITH ACI 315.
- THE CONTRACTOR SHALL POUR (4) CONCRETE TEST CYLINDERS, PER 50 CY IN ACCORDANCE WITH ASTM C31 AND TEST THE CYLINDERS IN ACCORDANCE WITH ASTM C39. PROVIDE THE TEST RESULTS TO THE ARCHITECT. SEE SPEC. SEC. 01 45 23 - TESTING LABORATORY SERVICES.

- STRUCTURAL COLUMN BASE PLATES SHALL BE GROUTED USING NON SHRINK CEMENT GROUT BY FIVE STAR PRODUCTS INC. OR APPROVED EQUAL.
- CONCRETE SHALL BE CURED IN ACCORDANCE WITH ACI 318 AND 308R.
- ALL SPLICES AND DEVELOPMENT LENGTHS SHALL BE IN ACCORDANCE WITH ACI 318, SECTION 12, "BUILDING CODE REQUIRED FOR STRUCTURAL CONCRETE" ALL SPLICES SHALL BE CLASS "B", UNLESS APPROVED OTHERWISE.

EARTHWORK NOTES:

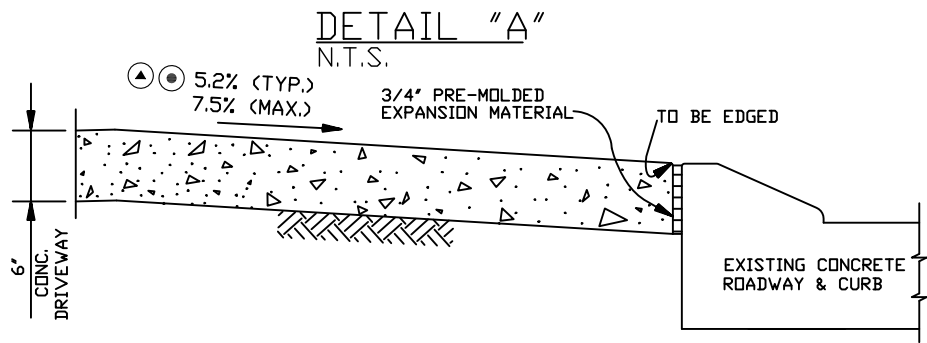
- THE CONTRACTOR SHALL BE RESPONSIBLE IN PERFORMING ALL EARTH WORK IN ACCORDANCE WITH SPECIFICATION 2200.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR MAINTAINING THE STABILITY OF ALL EXCAVATED FACES IN COMPLIANCE WITH OSHA REQUIREMENTS UNTIL FINAL ACCEPTANCE OF THE WORK.  
BACK FILL:  
SHALL BE A CLASSIFIED AS CL, SP OR SP-SM. CL SHALL HAVE A LL LESS THAN 40 AND PLASTICITY INDEX BETWEEN 12 AND 22. SAND SP SHALL HAVE LESS THAN 10% PASSING THE 200 SIEVE.
- ALL FILLS SHALL BE HEAVILY PROOF-ROLLED WITH A MODERATELY HEAVY LOADED PNEUMATIC ROLLER. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOADS SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED FILL.
- EXCESS EXCAVATED MATERIAL AND/OR UNUSED BACK FILL MATERIALS SHALL BE REMOVED AND HAULED TO AN AREA DESIGNATED BY OWNER.
- WASHED SAND SHALL COMPLY WITH ASTM C33 FOR FINE AGGREGATE CONCRETE SAND.
- SOIL BEARING CAPACITY = 1500 PSF  
SOIL TYPE #6 PER JEFFERSON PARISH SOIL MAPS



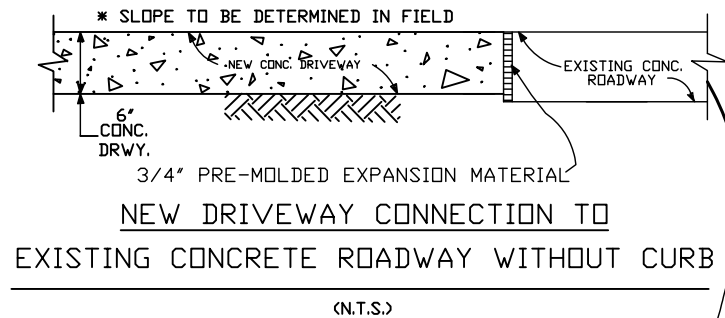


**NOTED:**  
PRE-POUR INSPECTIONS ARE REQUIRED. CALL THE DEPARTMENT OF ENGINEERING AT 504-349-5173 FOR APPOINTMENT.

EXPANSION JOINT DETAIL FOR NEW DRIVEWAY



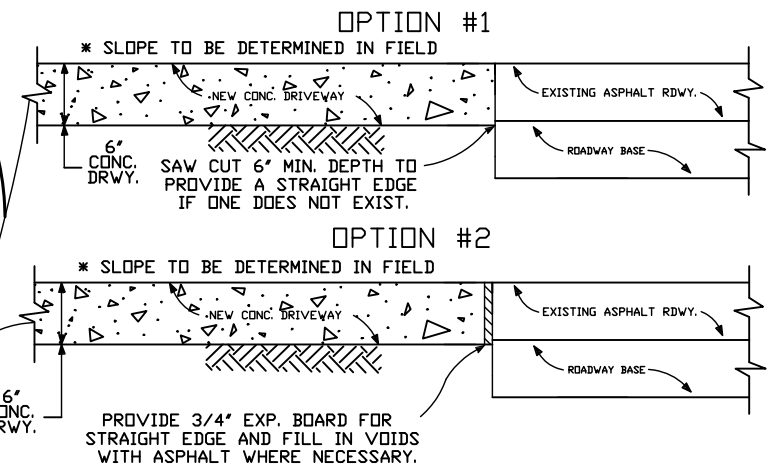
NEW DRIVEWAY CONNECTION TO EXISTING CONCRETE ROADWAY WITH ROLLOVER CURB (CURB TO REMAIN)  
(N.T.S.)



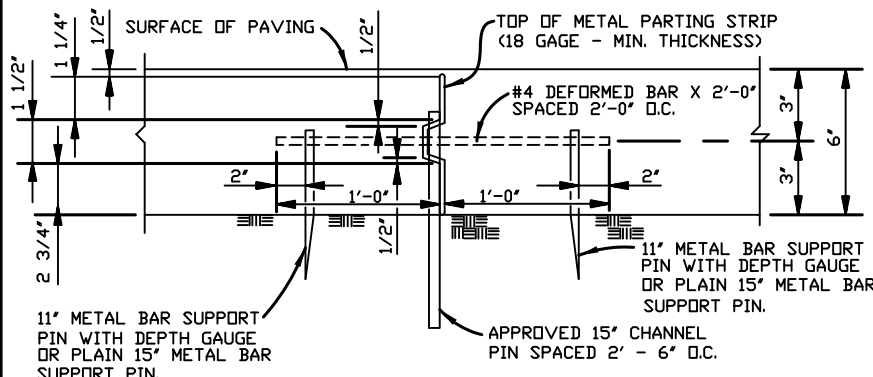
\*FOR CONSTRUCTION OF DRIVEWAYS ON PUBLIC RIGHT-OF-WAY WHICH TIE TO AN EXISTING ROADWAY WITHOUT AN EXISTING CURB, ELEVATION REQUIREMENTS MUST BE DETERMINED BY THE DEPARTMENT OF ENGINEERING. CONTACT THE DEPARTMENT AT (504) 349-5173 TO ARRANGE FOR DETERMINATION OF THE ELEVATION REQUIREMENTS.

## RESIDENTIAL DRIVEWAY SPECIFICATIONS

- CONTACT THE DEPARTMENT OF ENGINEERING AT (504) 349-5173 PRIOR TO BEGINNING ANY DRIVEWAY CONSTRUCTION. ANY DEVIATION FROM STANDARD DETAILS AND SPECIFICATIONS WILL NEED THE APPROVAL OF THE DIRECTOR OF ENGINEERING.
- ALL DRIVEWAYS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE AND HAVE A COMPRESSIVE STRENGTH OF FOUR THOUSAND (4000) POUNDS PER SQUARE INCH IN FOURTEEN (14) DAYS. PATTERNED CONCRETE OR BRICK PAVERS ARE ACCEPTABLE.  
NOTE: THE OWNER MUST SIGN A WAIVER FORM FOR ANY PATTERNED CONCRETE OR BRICKS PUT ON THE PARISH RIGHT OF WAY. SEE ATTACHED LIST OF VARIOUS WAIVER FORMS WHICH ARE UTILIZED.
- ALL (PCC) DRIVEWAYS SHALL HAVE A MINIMUM THICKNESS OF SIX (6) INCHES.
- TYPICAL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM DISTANCE OF FIVE (5) FEET FROM THE SIDE PROPERTY LINE AND THE APRON SHALL NOT CROSS THE SIDE PROPERTY LINE.
- ALL DRIVEWAYS SHALL HAVE A MAXIMUM WIDTH OF TWENTY-FIVE (25) FEET AT THE PROPERTY LINE AND A MAXIMUM OF THIRTY-FIVE (35) FEET AT THE STREET.
- LONGITUDINAL TRANSITIONS FOR SIDEWALKS MEET DRIVEWAYS SHALL NOT EXCEED ONE (1) INCH DROP EVERY TWELVE (12) INCHES, WITH A MAXIMUM OF 6 INCHES RISE IN 6 FEET.
- DRIVEWAY APRONS FOURTEEN (14) FEET AND WIDER MUST HAVE A METAL KEYED JOINT. (SEE DETAIL "Y").



NEW DRIVEWAY CONNECTION TO EXISTING ASPHALT ROADWAY WITHOUT CURB.



DETAIL "Y"  
N.T.S.

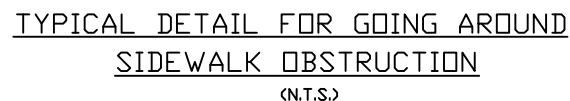
## LIST OF VARIOUS WAIVER FORMS

- WAIVER FOR ANY FORM OF PATTERNED CONCRETE WHETHER DYED, STAMPED, BRICK PAVERS OR BRICK EDGING.
- WAIVER FOR NO SIDEWALK IN BLOCK AREA. (THIS WAIVER IS A NOTARIZED DOCUMENT WHICH REQUIRES PRIOR COMMUNICATION WITH THE DEPT. OF ENGINEERING BEFORE COMING IN TO SIGN.)
- HOLD HARMLESS AGREEMENT FOR BRICK MAILBOX. THIS ALSO SERVES AS A PERMIT TO HAVE MAILBOX OVER PARISH RIGHT OF WAY.

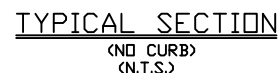
- Ⓐ THE TYPICAL STANDARD SLOPE WITHIN Ⓐ IS 5.2% (5/8" PER FOOT). THE MAXIMUM ALLOWABLE SLOPE WITHIN Ⓐ IS 7.5% (3/4" PER FOOT). IN THE VICINITY OF AREAS ADJACENT TO EXISTING OR PROPOSED DRIVEWAYS, ANY SLOPE GREATER THAN THE TYPICAL STANDARD SLOPE OF 5.2% (5/8" PER FOOT) MUST BE APPROVED IN WRITING BY MR. ERROL MARTIN, JR., ENGINEERING DIVISION SUPERVISOR, AT 504-736-6793 PRIOR TO CONSTRUCTION.
- Ⓑ DRIVEWAYS MUST BE DESIGNED AND CONSTRUCTED TO PROVIDE FOR A MAXIMUM LONGITUDINAL SIDEWALK SLOPE OF 8.33% (1" PER FOOT), NOT TO EXCEED A RISE GREATER THAN 6 INCHES IN 6 FEET, WHICH INCLUDES THE LONGITUDINAL TRANSITION FROM NEW SIDEWALK TO EXISTING SIDEWALK LOCATED AT THE ADJACENT PROPERTY LINE.

Ⓐ	Ⓑ
1'	3/8"
2'	1 1/4"
3'	1 7/8"
4'	2 1/2"
5'	3 3/8"
6'	3 3/4"
7'	4 3/8"

JEFFERSON PARISH DEPARTMENT OF ENGINEERING					
STANDARD RESIDENTIAL DETAILS FOR CONNECTING DRIVEWAYS TO EXISTING ROADWAYS					
DESIGNED BY	DATE	CHECKED BY	DATE	DESIGNED BY	DATE
C.H.S.	06/11/04	H.J.V.	07/29/04		
REVIEWED BY	DATE	REVIEWED BY	DATE	REVIEWED BY	DATE
C.H.S.	02/09/07	P.S.	02/09/07		
DESIGNED BY	DATE	CHECKED BY	DATE	DESIGNED BY	DATE
J.L.	06/01/07	V.V.	06/01/07		
REVIEWED BY	DATE	REVIEWED BY	DATE	REVIEWED BY	DATE
J.L.	05/12/08	P.S.	05/12/08		
DESIGNED BY	DATE	CHECKED BY	DATE	DESIGNED BY	DATE
C.J.	05/13/11	C.J.	05/24/15		
REVIEWED BY	DATE	REVIEWED BY	DATE	REVIEWED BY	DATE
C.H.S.	01/20/16	C.H.S.	12/05/16		
DESIGNED BY	DATE	CHECKED BY	DATE	DESIGNED BY	DATE
C.H.S.	01/18/17	C.H.S.	11-19-18		
REVIEWED BY	DATE	REVIEWED BY	DATE	REVIEWED BY	DATE
C.H.S.	01/28/19	-	-		
FILE NUMBER	AUTOCAD 2008 RESIDENTIALDRIVE.DWG				
	ENV-09				

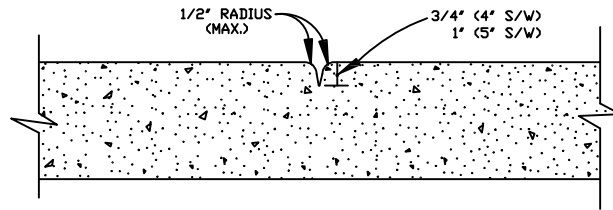


- \* FOR CONSTRUCTION OF SIDEWALKS ON PUBLIC RIGHT-OF-WAY WHICH TIE TO AN EXISTING ROADWAY WITHOUT AN EXISTING CURB, ELEVATION REQUIREMENTS MUST BE DETERMINED BY THE DEPARTMENT OF ENGINEERING. CONTACT THE DEPARTMENT AT (504) 349-5173 TO ARRANGE FOR DETERMINATION OF THE ELEVATION REQUIREMENTS.



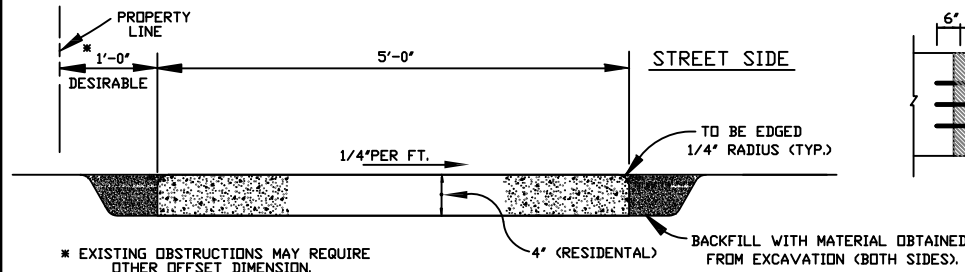
PRE-POUR INSPECTIONS ARE  
REQUIRED. CALL THE  
DEPARTMENT OF ENGINEERING  
AT 504-349-5173 FOR  
APPOINTMENT.

SHEET NO. 1 OF 2



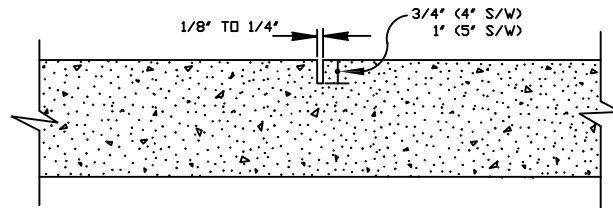
**HAND TOOLED CONTRACTION JOINT**

( MAXIMUM SPACING = 4'-0" )  
SCALE 1/4" = 1'



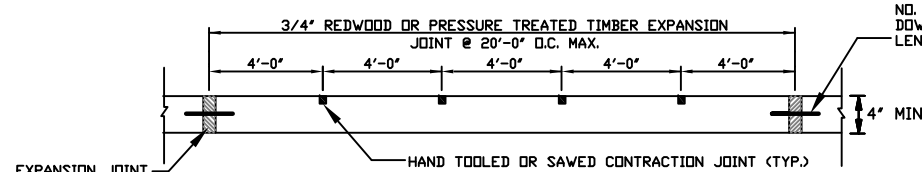
**SECTION "A-A"**

N.T.S.

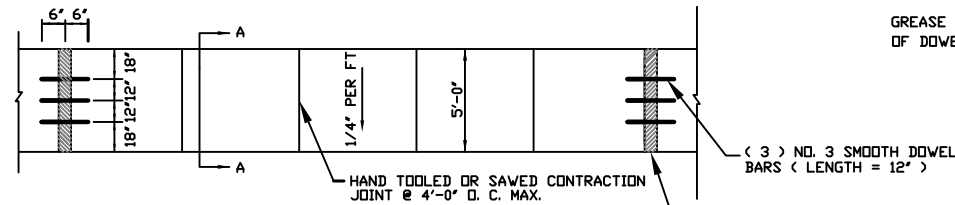


**SAWED CONTRACTION JOINT**

MAXIMUM SPACING = 4'-0"

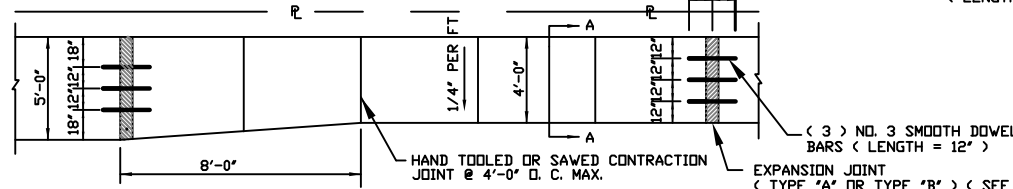


**ELEVATION VIEW OF SIDEWALK**



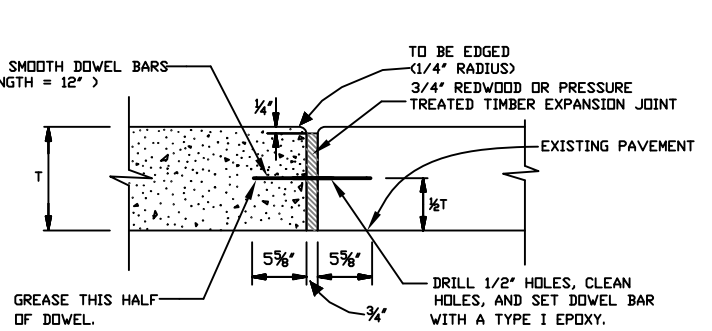
**PLAN VIEW OF 5' SIDEWALK**

N.T.S.



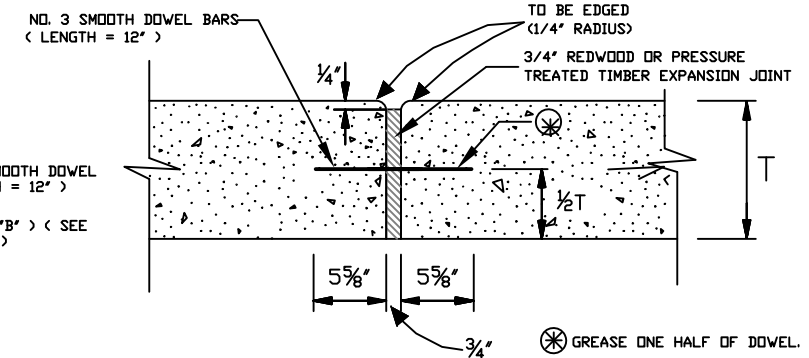
**PLAN VIEW-TRANSITION OF 4' AND 5' SIDEWALKS**

N.T.S.



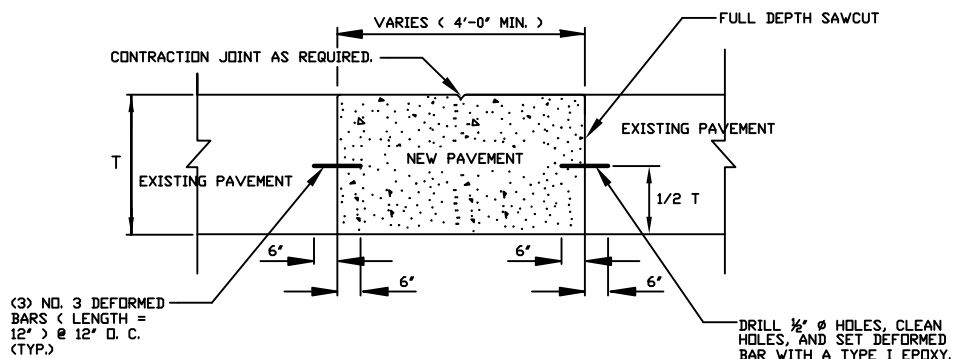
**EXPANSION JOINT (TYPE "B")**

( MAXIMUM SPACING = 20'-0" )  
N.T.S.



**EXPANSION JOINT (TYPE "A")**

( MAXIMUM SPACING = 20'-0" )  
N.T.S.



**CONSTRUCTION JOINT DETAIL FOR UTILITY CUTS AND/OR REPAIR SECTION**

N.T.S.

**NOTED!**

PRE-POUR INSPECTIONS ARE REQUIRED. CALL THE DEPARTMENT OF ENGINEERING AT 504-349-5173 FOR APPOINTMENT.

**NOTE:**

1. THE INSTALLATION OF 3FT. AND 4FT. WIDE SIDEWALKS WITHIN DEVELOPED AREAS OF JEFFERSON PARISH WILL REQUIRE THE APPROVAL OF THE ENGINEERING OPERATIONS/ MAINTENANCE PROGRAM MANAGER.

JEFFERSON PARISH DEPARTMENT OF ENGINEERING					
DRAWING TITLE					
STANDARD RESIDENTIAL SIDEWALK DETAILS					
DRAWN BY:	C.S.	DATE:	06/11/04	CHECKED BY:	H.J.W. DATE: 07/29/04
REVISD BY:	C.S.	DATE:	02/09/07	CHECKED BY:	P.S. DATE: 02/09/07
REVISD BY:	J.L.	DATE:	06/01/07	CHECKED BY:	J.L. DATE: 08/07/07
REVISD BY:	J.L.	DATE:	05/12/08	CHECKED BY:	P.S. DATE: 05/12/08
REVISD BY:	C.J.	DATE:	05/13/11	CHECKED BY:	C.J. DATE: 05/24/15
REVISD BY:	C.S.	DATE:	10/05/17	CHECKED BY:	C.S. DATE: 11-19-18
REVISD BY:	-	DATE:	-	CHECKED BY:	- DATE: -
FILE NUMBER:	AUTOCAD 2008			FILE NUMBER:	WIN RESIDENTIALSIDEWALK.DWG
ENV-09			REVISED BY: SHEET NO. 2 OF 2		