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## National Standards for Physical Inspection of Real Estate

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## Presenters

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Nicole Landry

Wesley Cager

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## Why Change

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The purpose of NSPIRE is to reduce regulatory burden and improve HUD oversight by aligning and consolidating the inspection regulations used to evaluate HUD housing across multiple programs.

- Prioritizes health, safety, and functional defects over those about appearance.
- Alignment of multiple inspection standards.
- Clearly defined inspection standards and protocols.

The new NSPIRE model prioritizes health, safety, and functional defects over appearance. It implements inspections that better reflect the actual physical conditions of the property and supports the adoption of sound, year-round maintenance practices.

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## The Good, The Bad, and The Ugly

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## Inspectable Area

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- Inside (I): Inside of HUD housing (or “inside areas”) refers to the common areas and building systems that can be generally found within the building interior and are not inside a unit.
  
- Outside (O): Outside of HUD housing (or “outside areas”) refers to the building site, building exterior components, and any building systems located outside of the building or unit.
  
- Unit (U): A unit (or “dwelling unit”) of HUD housing refers to the interior components of an individual unit.

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## Multifamily - Apartments

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### Outside

- Grounds
- Parking lot
- Playground
- Swimming pool

### Inside

- Community room
- Workout facility
- Mail Room
- Office
- Laundry Room
- Electrical Room

### Unit

- Where the tenant lives
- Porch

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## Single Family/Duplex

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### Outside:

- Yard
- Driveway
- Sidewalk

### Inside

- Detached Garage/storage room (TT has access)

### Unit

- Where the tenant lives

9

## Inspection Types

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- ☐ Initial
- ☐ Annual and Biennial Inspection
- ☐ Special Unit Inspection (Quality Control and Compliant)
- ☐ Virtual Inspection

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## NSPIRE vs NSPIRE-V

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NSPIRE – This is a specific application of the NSPIRE standards to the Tax Credit HUD Unit/Multifamily and Public Housing. They use a point system vs Pass/Fail for NSPIRE-V.

NSPIRE-V This is a specific application of the NSPIRE standards to the Housing Choice Voucher (HCV) program, also known as Section 8. It was initially referred to as [UPCS-V](#) during a demonstration phase, but has evolved into NSPIRE-V. NSPIRE-V replaces the previous HQS standards for HCV inspections.

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## Inspection Results

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Pass or Fail



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## Inspection Correction Timeframes

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Low – Pass (with comments)

Moderate: Failed 30 days

Severe: Failed (within 30 days – Per Admin Plan)

**Life Threatening (LFT): 24 Hours**

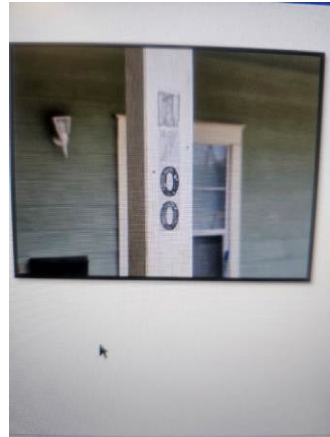
13

No Defect

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14

## Address and Signage (O & I)



15

## Address and Signage (O)

**Failed** - Address or building ID Code is broken, illegible, or not visible

Repair Time: Up to 30 days



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## Call-For-AID System (U&I)



- ❑ System blocked
- ❑ Pull the cord within 6 inches of the floor
- ❑ System does not function properly
- ❑ **FAILED – 24hrs Repair**

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## Carbon Monoxide



18

## Carbon Monoxide Alarms (U&I)



- ❑ If the unit or inside has a fuel-burning appliance, fireplace, or attached garage
- ❑ The CO alarm is missing and not installed in the proper location
- ❑ The CO alarm is missing and not installed in the proper location
- ❑ Does not produce audio or visual alarm on test
- ❑ Location – Vicinity of the bedrooms/classrooms or in the same room as the fuel-burning item.

**FAILED – 24 Hrs.**

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## Chimney (U,I & O)



- ❑ Wood-burning chimney incomplete/unsafe
- ❑ Chimney exhibits signs of structural failure

**❑ FAILED – 24 Hrs.**

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## Clothes Dryer Exhausted Ventilation (U&I)

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- ❑ The electric dryer exhaust ventilation system has restricted airflow
- ❑ The electric/gas dryer transition duct is detached or missing
- ❑ Exterior vent cover, cap, or a component is missing
- ❑ Exterior vent is clogged
- ❑ Dryer transition duct is constructed of unsuitable material (**White hose is NOT Allowed**)
- ❑ Gas dryer exhaust ventilation system has restricted airflow
- ❑ **FAILED – 24 hrs.**

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## Dryer Vent

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LOW-PASS (BROKEN)



LOW-PASS (MISSING)



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## Dyer Vent Blocked/Clogged

24 HRS. LFT - FAILED



24 HRS. LFT - FAILED



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## Clothes Dryer Exhausted Ventilation (U&I)



24

## Clothes Dryer Exhausted Ventilation (U&I)

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## Doors (Exterior, Exit or Entry)

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- ☐ Missing door
- ☐ Does not open or close properly
- ☐ Missing locks – (Must have two Locks - Keyless deadbolt)
- ☐ Peephole, Door window, or window that will allow the tenant to see who is at the front of the door
- ☐ The door is not secured
- ☐ Light coming through the door and frame (Weatherstripping) – Size ¼ inch gap or water
- ☐ Holes, splits, or cracks penetrated through the door, causing issues with the operation of the door
- ☐ Self-closing mechanism is damaged, missing or inoperable

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## Damaged Doors



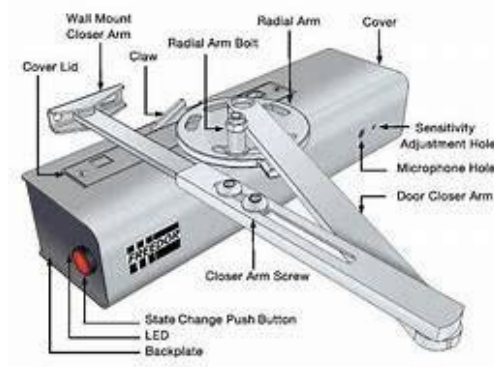
27

## Damaged Door



28

## Damaged Door



29

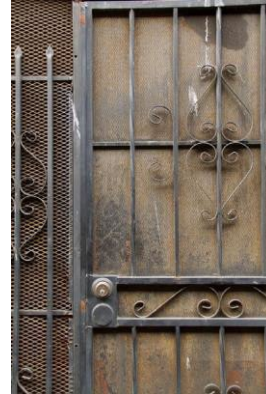
## Screen Doors



30

## Doors (Screen Doors)

- Are not inspectable
- Unless it has Sharp Edges or Egress Issues



31

## Entry Doors



32



## Doors Inside (U&I)

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- ☐ Door must be present (**Bedroom and Bathroom Only**)
- ☐ Passage does not open
- ☐ No lock requirement **except the bathroom**
- ☐ Door is secured and works as designed - Pass
- ☐ No holes, splits, or cracks penetrated through the door - Pass

33

## Broken Bedroom Doors

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34

## Doors (Fire Door) – 24 Hr Fail

- ☐ The door labeled is missing or evidence of prior installation
- ☐ Does not open and close as designed
- ☐ Fire door is propped open/Kickstand
- ☐ Must have a label
- ☐ No holes, splits, or cracks penetrated through the door
- ☐ Damaged assembly

35

## Door (Fire Door)



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## Door (Fire Door)



37

## Fire Doors



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## Fire Door Repair

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- Repairs to fire doors must include the manufacturer's documentation
- If the fire door has 25% or more of surface rust, it will be cited as a **Severe Defect**

39

## Foundation

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- Damage to the missing vent (Circulation Vents)
- Crack  $> 1/4 \times 12''$
- Rod/damaged noted to  $12' \times 12 \times 3/4$  deep

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## Main Egresses

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- Entry Doors (Exterior Door)
- Bedroom Door
- Bedroom Window (at least one)

41

## Egress (U,I&O)

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- ☐ Obstructed egress route or opening
- ☐ Bedroom < 4th floor obstructed rescue opening, not a resident item
- ☐ Fire escape obstructed, excluding resident-owned items
- ☐ An LL-owned permanent window AC unit cannot block an egress.
  - ☐ NOTE: Tenant-owned AC unit CAN block egress
- ☐ **FAILED – 24 hrs.**

42

## Egress (U,I&O)

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43

## Egress

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The AC unit CANNOT Block only the window in a bedroom.

No matter the ownership

44

## Egress

Tenant-owned furniture may block the only window in the bedroom.

Note: We will encourage them to move the item



45

## Egress (U,I&O)



Clutter CANNOT  
block an Entry door.

No matter the  
ownership

46

## Egress (U,I&O)

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LFT – 24 Hrs. Fail

Note: If this is the  
only window in the  
bedroom



47

## Egress

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48



## Electrical – Outlet, Switch, exposed wires (U, I & O)

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- ❑ The outlet or switch is damaged such that it is unsafe.
- Three-pronged outlet is not grounded or wired properly
- No damaged but doesn't work
- ❑ Exposed electrical conductor/wires
- ❑ Water is currently in contact with an electrical conductor

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## Electrical Outlet (U, I & O)

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50

## Electrical Outlet (U, I & O)



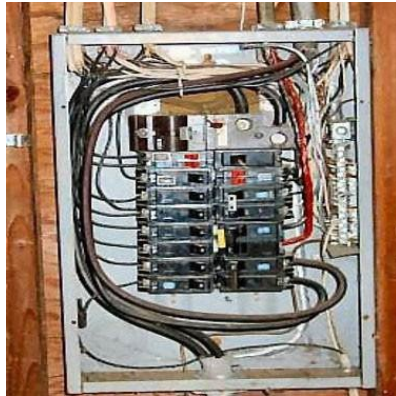
51

## Electrical Wires (U, I & O)



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## Electrical Boxed (U, I & O)



53

## Wall Mount Light Fixture (O, I, & U)

Missing globe on  
wall-mounted light  
(Only)

**24 Hour - LFT**



54

# Failed

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55

## Electrical GFCI or AFCI Outlet Breaker

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- ☐ GFCI outlet or breaker test or the reset button is inoperable
- ☐ GFCI outlet or AFCI breaker test or the reset button is inoperable
- ☐ Unprotected outlet within six feet of a water source UAHR
- ☐ Failed – Up to 30 Days

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## Electrical GFCI Outlets (U, I & O)

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57

## Is A GFCI Required?

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58

## GFCI or AFCI

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59

## Electrical – Service Panel

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- ☐ The electrical service panel is not reasonably accessible
- ☐ The overcurrent protection device is damaged – 24 Hrs.
- ☐ The overcurrent protection device is contaminated

60

## Wesley Cager

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61

## Exit Signs (I & O)

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- ☐ Missing
- ☐ Damaged
- ☐ Not Illuminated
- ☐ Not installed properly
- ☐ Failed – 24 Hrs.

62

## Exit Signs (I & O)

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63

## Fire Escape (O)

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64



## Fire Extinguisher (U, I &O)

- ❑ Fire extinguisher pressure gauge reads over or under-charged
- ❑ The fire extinguisher service tag is missing, illegible, or expired
- ❑ Fire extinguisher is damaged or missing
- ❑ A Disposable Fire Extinguisher over 12 years old

NOTE: A tenant-owned fire extinguisher is not evaluated

❑ Failed – 24 Hrs.

65

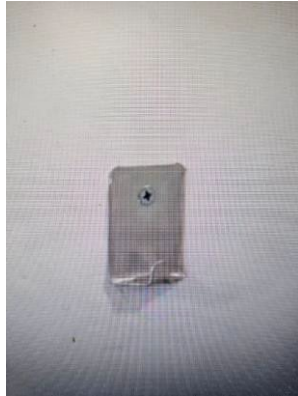
## Fire Extinguisher (U, I &O)



66

## Missing

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Proof of prior  
installation of a  
Fire Extinguisher

67

## Flammable and Combustible (U,I &O)

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- ❑ Within 3' source of ignition; improperly stored chemicals, lawnmower, and other gas devices
- ❑ Away from a furnace or heater
- ❑ Failed – 24 hrs.

68

## Garage Door

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- ☐ Hole of any size that penetrated through the interior
- ☐ Door does not open, close, or remain open or closed
- ☐ Failed – Up to 30 days

69

## Damaged Garage Doors

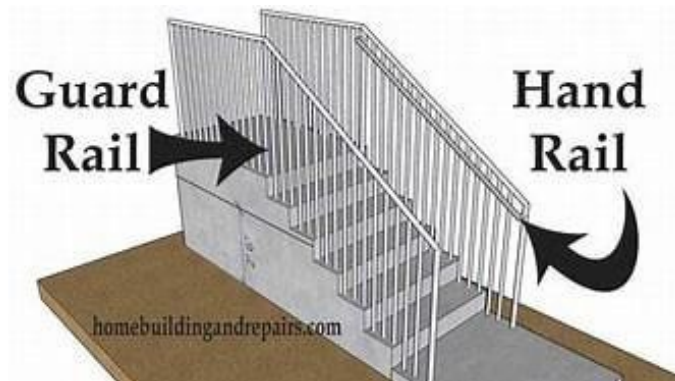
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## Guard Rail vs Hand Rail

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71

## Grab Bar (U& I)

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❑ Missing Grab Bars  
(previously installed)

❑ Not Secured (Any  
Movement)



72

## Guardrails (U,I &O)

❑ The guardrail is missing or not installed

❑ Inadequate, missing, damaged, less than 30" high, not secure

❑ Failed – 24 Hrs.



73

## Handrail (U,I &O)



74

## Handrail – (U,I &O)

- ☐ Has four consecutive steps or more
- ☐ Not secured
- ☐ Other areas where a handrail was required and previously installed (failed)
- ☐ No signs of prior installation (Low – Pass)



75

## Not a Defect

Reminder:

Must have four consecutive steps or more.

**Do not count  
the landing.**



76

## Handrail Ramps NOTE:

Handicap Ramp:

- The ramp raises 6 inches or runs 6 feet.
- Need Handrails on both sides
  - Installed 24 - 42 inches
  - Full length of the ramp
  - Able to grip the handrail
  - Low - Pass



77

## Guttering

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- Components = downspout, elbow, gutter, etc.
- Missing components or not securely attached
- Debris limiting the drain or gutter
- Damaged components causing an impact function

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## 30-Day Repair

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79

## Splash Blocks – Not Required

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80



# Heating, Ventilation and Air Condition (HVAC)

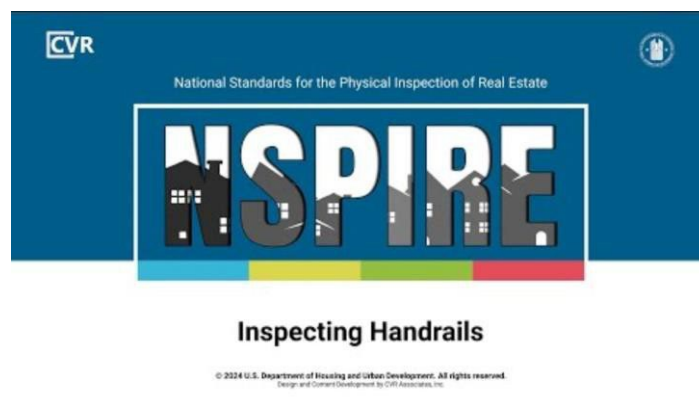
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- ☐ 10/1 to 3/31 heat inoperable or interior temp <64 deg F – UAHR Failed - 24 Hrs.
- ☐ 10/1 to 3/131 heat working, interior temp 64 to 68 deg F – UAHR - Failed - 30 days
- ☐ Air conditioning system or device is not operational Fail – 24 Hrs.
- ☐ Unvented gas, oil, or kerosene space heater (NOT ALLOWED)– Failed - 24Hrs.
- ☐ Combustion chamber cover or gas shutoff valve missing – Fail 24hrs
- ☐ Heating system (permanent) or device is damaged, or missing parts Failed – 30 days
- ☐ The exhaust vent is in unsafe condition – Failed – 24 Hrs.
- ☐ Coming area HVAC is not working between 10/1 and 3/31 – Fail 30 days

81

# Handrails

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82

# HVAC

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- ❑ Combustion chamber cover or gas shutoff valve missing – Fail 24hrs
- ❑ Heating system (permanent) or device is damaged, or missing parts Failed – 30 days
- ❑ The exhaust vent is in unsafe condition – Failed – 24 Hrs.
- ❑ Coming area HVAC is not working between 10/1 and 3/31 – Fail 30 days
- ❑ Exhaust vent is misaligned, blocked, disconnected, or improperly connected – Fail 24 Hrs.
- ❑ Exhaust vent has a negative downward slope – Fail 24 Hrs.
- ❑ Exhaust vent is damaged or missing- Failed 24 Hrs.

83

# Open Flames Heating Unit (U& I)

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NOT ALLOWED



NOT ALLOWED



84

# HVAC

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85

# Infestation

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86

## Infestation

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87

## Infestation (U & I)

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- ☐ Evidence of cockroaches, mice, rats, bedbugs, etc. Failed – 30 days
  
- ☐ Other pests - bees, wasps, bats, termites, birds, squirrels, etc. Failed – 30 days

88

# Infestations

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89

## Lead-Based

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- Properties built before 1978 – Any peeling paint
- No Clearance Letter (Property is free of lead)
- A child under 6 years old (HCV Only)
- An expecting mother (pregnant) (HCV Only)

90

## Lead Paint Hazard Visual Assessment

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### Moderate Fail

- Paint deteriorated < 2sf of large sfc per room
- Small surface <10% per component

### Severe Fail

- Paint deteriorated > 2sf of large sfc per room
- Paint deteriorated >10% per component

91

## Leak Gas or Oil (U,I & O)

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☐ Natural gas, propane, or oil leak or uncapped fuel supply

☐ Failed – 24 Hrs.

92

## Leaks (U, I & O)

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Natural Gas, propane, oil leak, or uncapped fuel supply – Failed 24 Hrs.

Block Sewage System (Note: Household sewage blockage – Failed 24 Hrs.

Cleanout cap is missing or detached

Plumbing leases

Fluid leaking from the sprinkler assembly

93

## Lighting (U, I & O)

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- ☐ Auxiliary lighting damaged, missing, or fails to illuminate
- ☐ Light fixture is damaged, inoperable, missing, or not secure
- ☐ No permanent light fixture in the kitchen and bathroom

94

## Lighting (U, I & O)

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95

## Lighting Auxiliary (I & O)

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Light Damage

Light Missing

Light fails to illuminate



96



## Lighting (I & O)

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97

## Minimum Electric & Lighting (U)

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- At least two outlets or one outlet and light fixture.
- Rooms to evaluate – living room, bedroom & kitchen
- Failed – 30 Days



98

## Light Replacement

Owners must replace a light with a light. They CANNOT cover up the spot where the light was located with a blank plate cover.



99

## Litter (I & O)



100

## Litter (I & O)

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101

## Litter (I & O)

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- 10 or more small items of litter are present with a 10 x 10 area not designated garbage
- Any number of large items have been clearly discarded in an area not designated garbage
- Moderate Health and Safety – Present a moderate risk that will cause temporary harm, if left untreated, cause or worsen a chronic condition that may have long-term adverse health effects or physical security or safety of the resident or property.

Failed – 30 days

102

## Mold- Like Substance (U & I)

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Moderate level > 4 square inches < 1 sf in a room (U)

High Levels > 1 sf but < 9 sf in a room (U&I)

**Extremely High > 9 sf in a room – 24 Hrs. (U&I)**

Evaluated moisture level (U)

103

## Mold Like Substance (U & I)

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104

## Mold-Like Substance

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105

## Wesley Cager

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106

## Parking Lots (O)

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- Owned by the property
- Pothole 4" and 1 sf +
- Ponding > 3" and 5% of the parking lot is unusable



107

## Private Driveway and Roads

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- ☐ Access to property blocked or impassable by cars
- ☐ Road or driveways has deep pothole and 1 sf or more

108

## Refrigerator

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Refrigerator inoperable, not cooling adequately

Refrigerator component is damaged - It impacts the functionality

No refrigerator present (Landlord providing)

109

## Retaining Wall

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- ☐ Retaining wall is leaning away from the fill side.
- ☐ Retaining wall is partially or completely collapsed.



110

## Roof Assembly (O)

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- Restricted flow of water from the roof drain, gutter and downspout
- Gutter component is damage, missing and unfixed
- Roof surface has standing water
- Substrate is exposed
- Hole in the roof not cover by a vent or screen
- Roof assembly included vents, soft, fascia, etc.

111

## Roof Failed Items

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112



## Roof/siding Failed Items

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113

## Sharp Edges (U, I & O)

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Physical hazards with the built environment that can lacerate or puncture the skin

Sharp edges hazard injury may require emergency care

Example – broken glass, damaged tiles, or damaged handrail

*Evaluated – Only recordable if within the normal path of travel.*



114

## Security Fencing/Gates

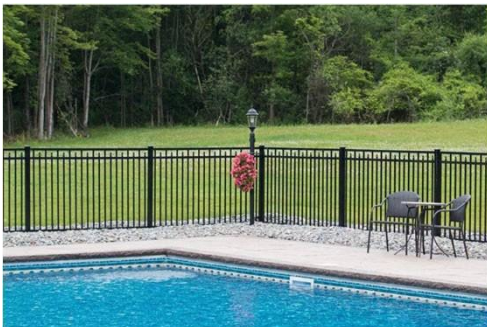
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- Fences that are inspectable are the following:
  - Safety for residents
  - Prevent property damage
  - Prevent theft or injury

115

## Safety

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116

## Fencing and Gates

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❑ Hole(s) affecting 20% of the single section

❑ Gate latch/lock inoperable

❑ Failing post(s) allowing for lean or instability

❑ Fence must be at least 48" tall



117

## Theft

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118

## Dumpster Enclosure – **No Inspectable**

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HOWEVER:

We will look for  
tripping hazards and  
Sharp Edges

119

## Trip Hazard

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- Abrupt change in standard path
- $\frac{3}{4}$  inch vertical deviation
- 2-inch horizontal separation

120

## Tripping Hazard

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121

## Sharp Edge

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Sharp edge noted – Likely to require professional medical treatment.

122

## Sharp Edge (U, I & O)

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123

## Sharp Edge (U, I & O)

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124



## Sharp Edges (U, I & O)

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125

## Sidewalk, Walkways, and Ramp (O)

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Overgrown vegetation

Damaged or deteriorated sidewalk

Tripping hazard

Unstable Material

Blocked or impassable

126

## Sidewalk and Walkway

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## Sidewalk and Walkway

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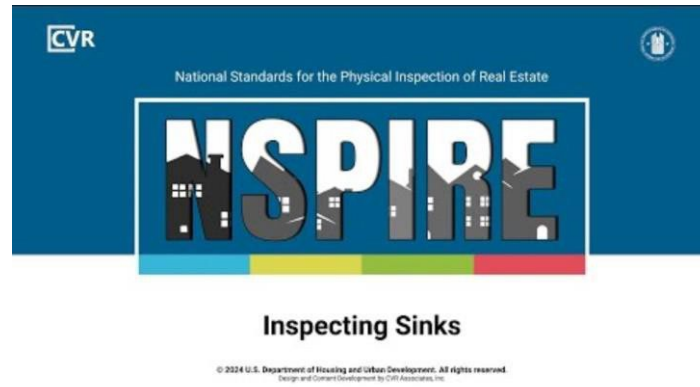


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# Sinks

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129

# Soffit/Fascia

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- Penetrating holes noted in soffit fascia or roof deck
- Damaged causing Instability

130

## Failed Items

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131

## Ramp

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132

## Smoke Detector (U&I)



- ☐ Smoke alarm is not installed where required - UAHR
- ☐ Smoke alarm is obstructed
- ☐ Does not produce an audio or visual alarm when tested
- ☐ Located in every bedroom
- ☐ Immediate Vicinity of the bedroom hallway

133

## Smoke Detector (U&I)

- ☐ **Wall-mounted—The top edge of the smoke alarm cannot be closer than 4 inches or greater than 12 inches from the ceiling.**
- ☐ **It must be ceiling-mounted and greater than 4 inches from the wall.**
- ☐ Every level of the unit, including a finished attic
- ☐ 36 inches from any airway (Vent, window, doorway, ceiling fan, etc.)
- ☐ NOTE: 12/29/24 Smoke detector must be hard-wired or installed with a 10-year sealed battery smoke detector
- ☐ **Failed – 24 hrs.**

134

## Sprinkler Assembly (U,I&O)

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- ❑ Sprinkler encased or obstructed by an object 18 inches
- ❑ Component damaged, inoperable, missing, impacts performance
- ❑ Sprinkler assembly has evidence of corrosion
- ❑ Foreign material covers 75% + of assembly or glass bulb
- ❑ Failed – 24 hrs.

135

## Sprinkler Assembly (U,I&O)

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136

## Sprinkler Assembly (U,I&O)



137

## Stove/Range/Microwave

- ❖ The oven is not producing heat
- ❖ No burner on the cooking range or cooktop produces heat.
- ❖ Cooking range, cooktop, or oven component missing (Unsafe for use)
- ❖ Primary cooking appliance is missing
- ❖ A Microwave is damaged or Inoperable (Primary Cooking Device Only)
- ❖ A Stove Burner is Inoperable (one operable burner exists)

**Fail – 30 days**

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## Stove/Range - Hood Fan/Light

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- ❖ The hood fan does not respond to the control switch
- ❖ The hood fan exhaust system has restricted airflow
- ❖ The hood fan component is damaged or missing, including a filter
- ❖ The hood light does not work

### ❖ Fail – 30 days

- ❖ **NOTE: A family may choose a Microwave in place of a stove/range but all other units have microwaves only**
- ❖ **If there are indications that a stove or microwave was present the owner is supplying the item must place the stove/microwave in the unit**

139

## Wall Covering

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- >1 sq ft of missing material
- Any size hole penetrating the interior
- Covering is not “functionally adequate.”
- 10 sq ft of peeling paint on a single wall (Post-1978 building)
- 30-Day Repair

140

## Wall Covering

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NOT A DEFECT



NOT A DEFECT



141

## Wall Covering

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DEFECT



DEFECT



142

## Wall Covering (Failed)

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### Remember:

Any size hole that penetrates the wall is a defect.

143

## Water Heater (U & I)

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- ☐ Pressure relief valve or discharge pipe is obstructed
- ☐ Pressure relief valve discharge piping is damaged
- ☐ Pressure relief valve has an active leak Severe
- ☐ Pressure relief valve discharge piping is missing
- ☐ Pressure relief valve terminates higher than 6" or less than 2" from the floor
- ☐ Pressure relief valve is damaged, capped, has an upward slope, or is constructed of unsuitable material

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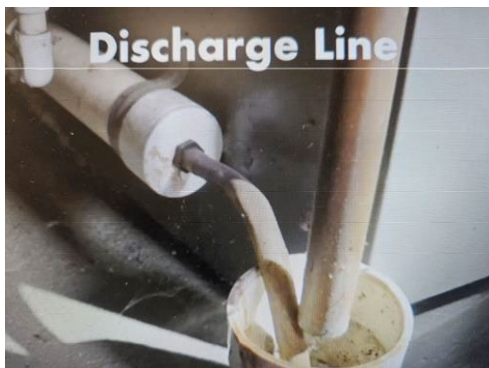


# Water Heater

- ❑ Chimney or flue piping is blocked, misaligned, missing, or has a negative downward slope – Fail 24 Hrs.
- ❑ Gas shutoff valve is damaged, missing, or not installed Fail – 24 Hrs.
- ❑ Discharge Piping Material Allowed: Chlorinated polyvinyl chloride (CPVC) plastic pipe/tubing, • Copper pipe • Cross-linked polyethylene (PEX) plastic tubing • Ductile iron • Cross-linked polyethylene/aluminum/high-density – Polyethylene (PEX-AL-HDPE) pipe • Polyethylene (PEX-AL-PEX) pipe
  - Galvanized steel pipe • Polyethylene/aluminum/ polyethylene (PE-AL-PE) pipe – Polypropylene (PP) plastic pipe or tubing • Stainless steel pipe (type 304 or 316)

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## 2 – 4 Inch Discharge Line



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## Water Heater



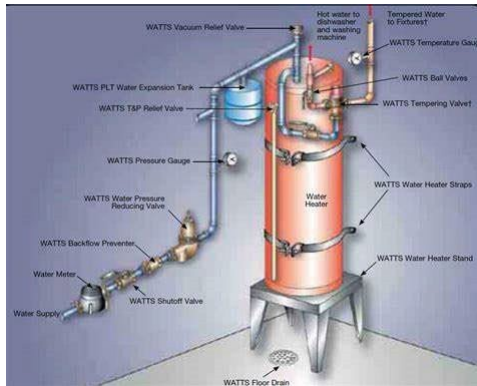
147

## Water heater



148

# Water Heater



**NO PVC Pipe ALLOWED**

149

# Windows

- Each window needs at least one operable lock
  - Aftermarket locks are allowed but must be permanently installed
- Missing Screen or damage 1" or larger (**SCREENS ARE REQUIRED**)
- Pane is missing or damaged (crack, weather stripping)
- Lock inoperable
- Will not open to stay open ( NO PROPS)
- Window will not close (Severe)
- Egress Bedroom window (no special tool to open)

150

## Failed Window Locks



151

## Structural System (U, I & O)



- ❑ Structural system exhibits signs of severe failure
- ❑ Signs of immediate collapse
- ❑ Failed – 24 Hrs.

152

## Retaining Walls (O)

- Only inspect Retaining Walls that are a minimum of 24" tall.
- The wall must be leaning from the fill side or portion collapsed
- LFT - 24 - Hr



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## Structural Damage



154

## Tenant-Owned Items

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NOTE: A tenant-owned item may become an owner's issue.

155

## Tenant-Owned Item

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156

# QUESTIONS

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